

General Summary



R & R Home Inspections

Customer

Address

61774 Alta loma Dr
Joshua Tree CA 92252

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roof

1.1 Roof Flashing Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The home had no kick-out flashing installed where walls extended past roof edges. Kick-out flashing is designed and installed to divert water from behind the exterior wall covering at areas of the home where a sidewall extends out past a connecting roof eave. This condition may allow moisture intrusion of the exterior wall covering. Moisture intrusion of the wall structure can damage home materials and encourage the growth of mold. Long term moisture intrusion can cause structural damage from wood decay. The Inspector recommends that before the expiration of your Inspection Objection Deadline, you consult with a qualified roofing contractor to discuss options and costs for kickout

flashing installation.



1.1 Item 1(Picture)



1.1 Item 2(Picture)

ROOF-TO-WALL FLASHING

Due to the volume of water that can run down a sloped roof, one of the most critical flashing details is where a roof intersects with a sidewall. Install a self-healing adhesive-backed membrane along the roof/wall intersection before flashing. The membrane on the wall should extend behind the eaves framing and should be installed before the sub-fascia or trim goes on.

The roof should then be flashed to the wall with step flashing positioned at every shingle course. Where the roof begins at its lowest point, install a kickout flashing to deflect water away from the siding. Kickout flashing can be made by cutting and bending a piece of step flashing at an angle. The water-resistive barrier on the wall should then lap over the step flashing.

There are several companies that sell pre-made kickout flashings that are designed to divert water away from the wall. Below is an example of a preformed polypropylene kickout. Be sure to follow all manufactures installation instructions.

4.18 Self-adhering membrane Water-resistive barrier laps over the step flashing and the roofing felt.
Roofing felt
Step flashing
as stated on page 13
Drip edge and fascia

WARNING

Caution: The kickout flashing shall be min. 4 in. x 4 in. as required by IRC code R905.2.8.3 and be angled between 100° - 110° to deflect water from dumping behind the siding and the end of the roof intersection

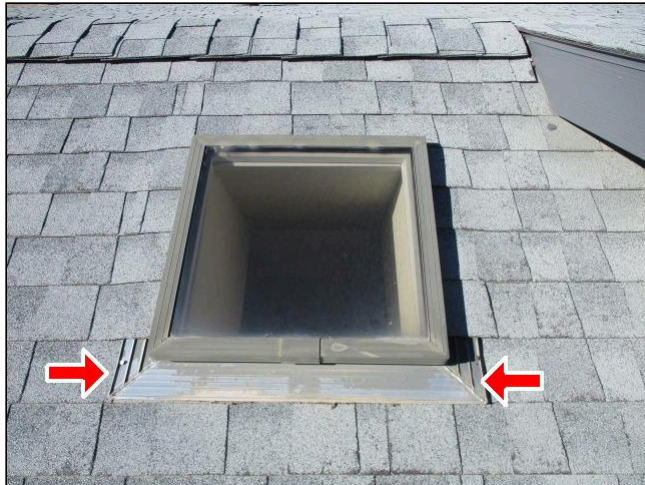
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1.1 Item 3(Picture)

1.2 Skylight Exteriors Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

Exposed fasteners were observed at the skylight . The Inspector recommends an evaluation and any necessary work be performed by a qualified roofing contractor.



1.2 Item 1(Picture)



1.2 Item 2(Picture)



1.2 Item 3(Picture)

1.3 Plumbing and Combustion Vents
Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

A plumbing vent pipe serving the drain, waste and vent system had inadequate clearance above the roof. To help ensure that they perform according to their design, plumbing vent pipes should terminate a minimum of 6 inches above the roof or above the level of anticipated snow accumulation. The Inspector recommends correction by a qualified plumbing contractor.



1.3 Item 1(Picture) left side (facing front)

1.4 Roof Drainage System
Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The home had no roof drainage system to channel roof drainage away from the foundation. The Inspector recommends installation of a roof drainage system to help protect the home structure and occupants.



1.4 Item 1(Picture)



1.4 Item 2(Picture)



1.4 Item 3(Picture)



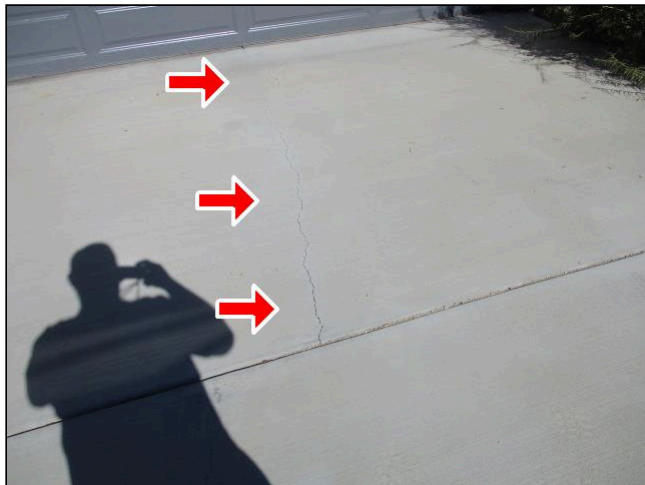
1.4 Item 4(Picture)

3. Exterior

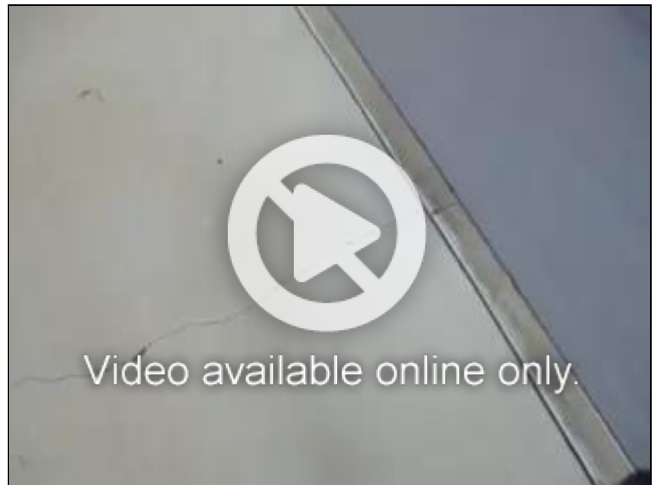
3.1 Driveway Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

Common cracks ($\frac{1}{4}$ -inch or less) were visible in the driveway at the time of the inspection. Cracks exceeding $\frac{1}{4}$ inch should be filled with an appropriate sealant to avoid continued damage to the driveway surface from freezing moisture.



3.1 Item 1(Picture)



3.1 Item 2(Video)

3.2 Fences, Gates, and Boundary Walls Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

No fence was installed on the north and east side of the property.



3.2 Item 1(Picture)

3.3 General Grounds

Repair/Replace

(1)

IMPROVEMENT AND REPAIR RECOMMENDED:

Marginal site drainage was observed next to the deck structure. Proper drainage is needed to help prevent water from standing and/or ponding next to the crawl space and foundation.

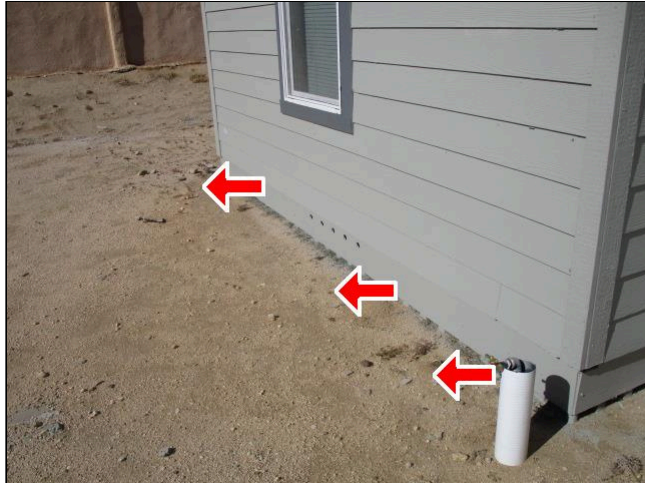


3.3 Item 1(Picture)

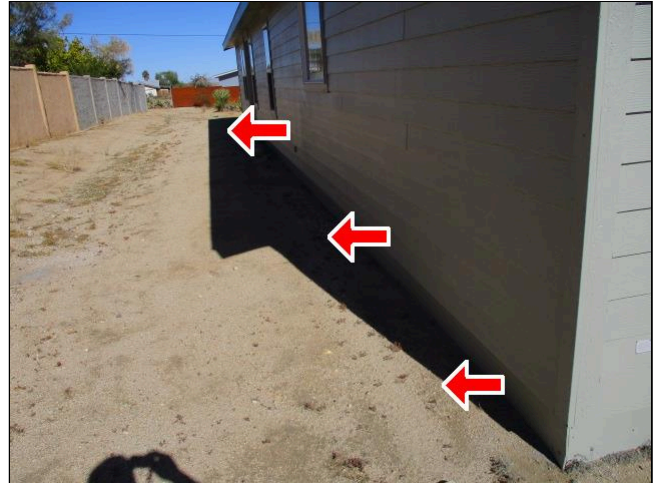
(2)

IMPROVEMENT AND REPAIR RECOMMENDED:

Swales at the side of the home were noted as being too shallow and can allow for water to flow out towards the foundation of the home during heavy rain fall or snow accumulation. It is recommended that the swales be cut deeper to prevent water accumulation next to the foundation walls and allow for sufficient drainage.



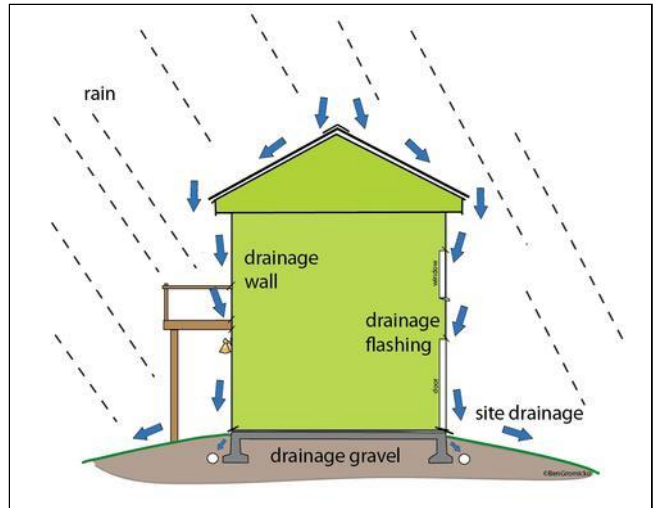
3.3 Item 2(Picture)



3.3 Item 3(Picture)



3.3 Item 4(Picture)

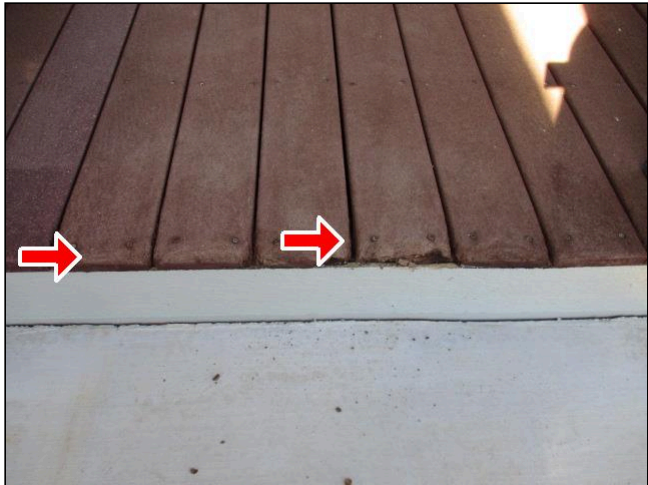


3.3 Item 5(Picture)

**3.4 Deck, Balcony, Bridge and Porch,
Repair/Replace**

IMPROVEMENT AND REPAIR RECOMMENDED:

This deck exhibited moderate general deterioration at the time of the inspection.



3.4 Item 1(Picture) front of home



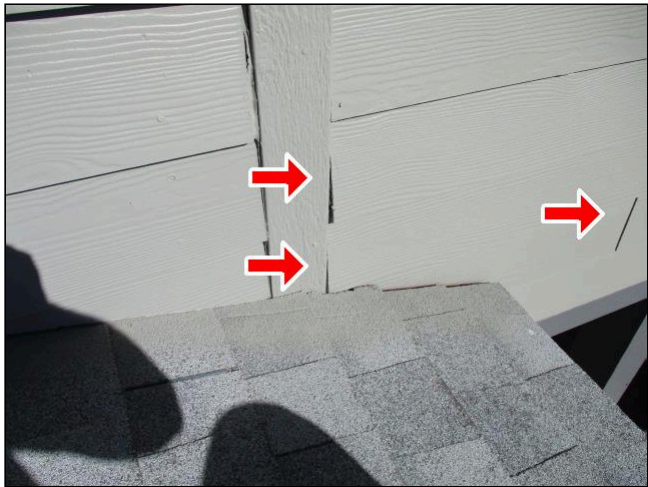
3.4 Item 2(Video)

4. Wall Exteriors

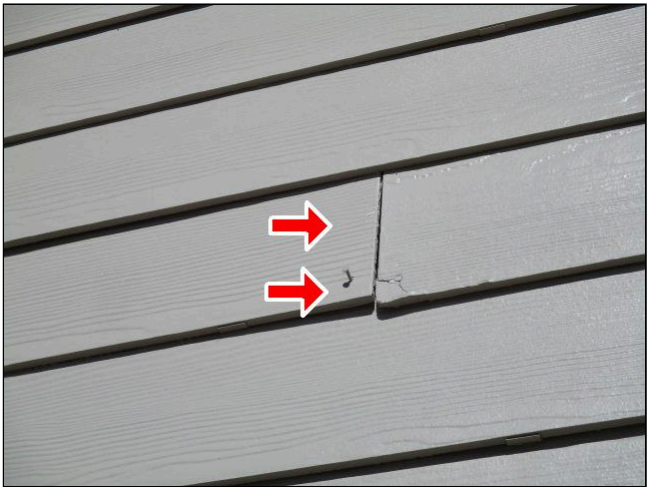
4.0 Siding
Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

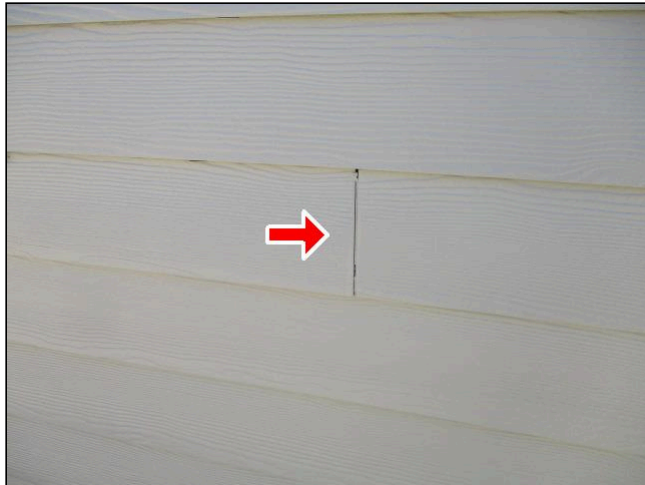
All joints between siding should be properly sealed. It is recommended to use elastomeric sealant.



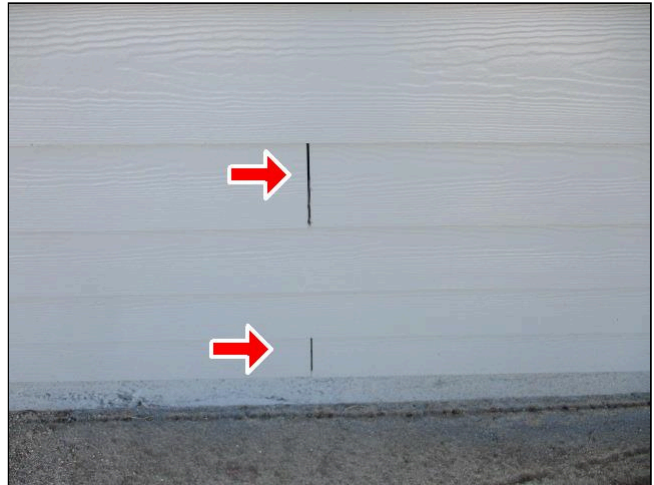
4.0 Item 1(Picture)



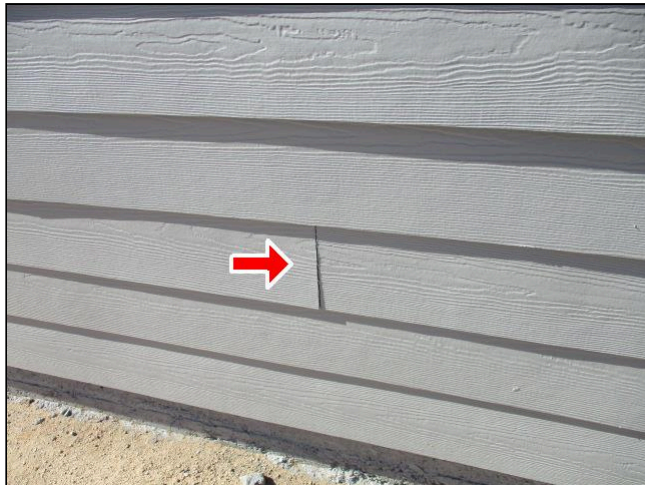
4.0 Item 2(Picture)



4.0 Item 3(Picture)



4.0 Item 4(Picture)



4.0 Item 5(Picture)



4.0 Item 6(Picture) front of home

4.2 Window Exteriors

Repair/Replace

(1)

IMPROVEMENT AND REPAIR RECOMMENDED:

A window at the front of the house had a broken glass.



4.2 Item 1(Picture) front of home
(2)



4.2 Item 2(Video)

IMPROVEMENT AND REPAIR RECOMMENDED:

One or more of the window screens were observed to be damaged.



4.2 Item 3(Picture)
(3)

IMPROVEMENT AND REPAIR RECOMMENDED:

Window bottom rail damaged or missing. The Inspector recommends that before the expiration of your Inspection Objection Deadline you consult with a qualified contractor to discuss options and costs for correction.



4.2 Item 4(Picture)

6. Interior

6.1 Floors

Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The living room had severe floor tile damage visible at the time of the inspection. You should consult with a qualified contractor to discuss options and costs for repair.



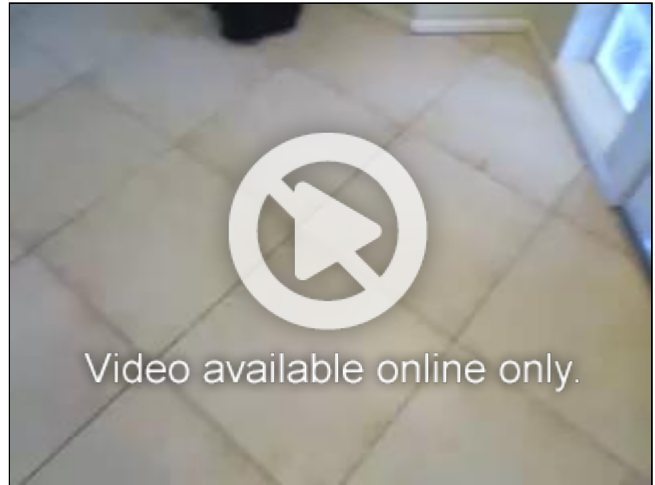
6.1 Item 1(Picture) Living Room



6.1 Item 2(Picture)



6.1 Item 3(Picture)



6.1 Item 4(Video)

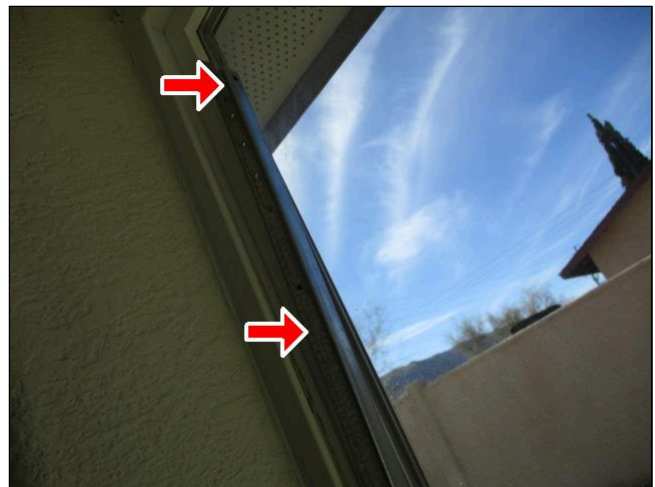
6.8 Windows and Skylights
Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

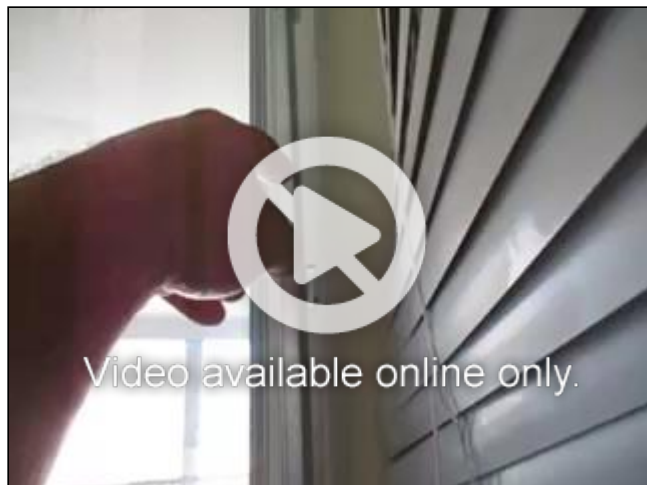
Few window in the interior are difficult to operate some are missing the window channel balance. Repair or replacement is recommended.



6.8 Item 1(Picture)



6.8 Item 2(Picture)



6.8 Item 3(Video)



6.8 Item 4(Picture)

8. Garage

8.0 Garage Doors Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

A garage vehicle door failed to reverse when a reasonable amount of resistance was applied. The Inspector recommends service by a qualified garage door contractor.



8.0 Item 1(Picture)



8.0 Item 2(Picture)



8.0 Item 3(Video)

9. Plumbing

9.0 Gas Water Heater

Repair/Replace

(1)

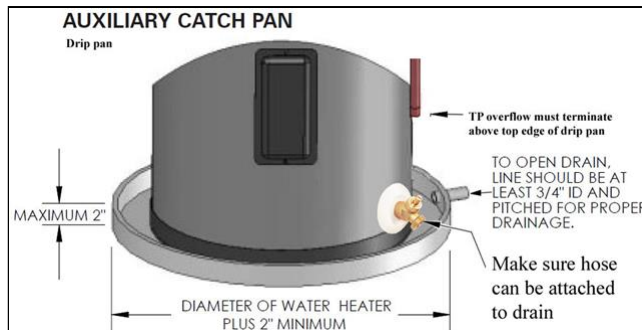
IMPROVEMENT AND REPAIR RECOMMENDED:

Drip pans are recommended below all hot water heaters, This will help contain leaks and prevent water damage.



9.0 Item 1(Picture)

(2)

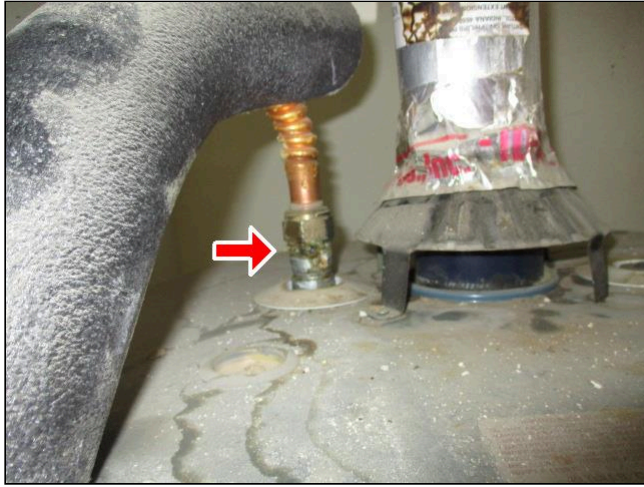


9.0 Item 2(Picture)

IMPROVEMENT AND REPAIR RECOMMENDED:

Corrosion visible on water pipes connected to this water heater appeared to be the result of dissimilar metals in contact with each other. This condition can cause galvanic

corrosion. The Inspector recommends installation of a dielectric union by a qualified plumbing contractor to help prevent further corrosion, deterioration and/or leakage made possible by this condition.



9.0 Item 3(Picture)

**9.4 Exterior Plumbing
Repair/Replace**

Corroded supply pipes . The Inspector recommends replacement by a qualified contractor to prevent future damage.



9.4 Item 1(Picture) front of home



9.4 Item 2(Video)



9.4 Item 3(Picture)

10. Heating

10.2 Fireplace Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

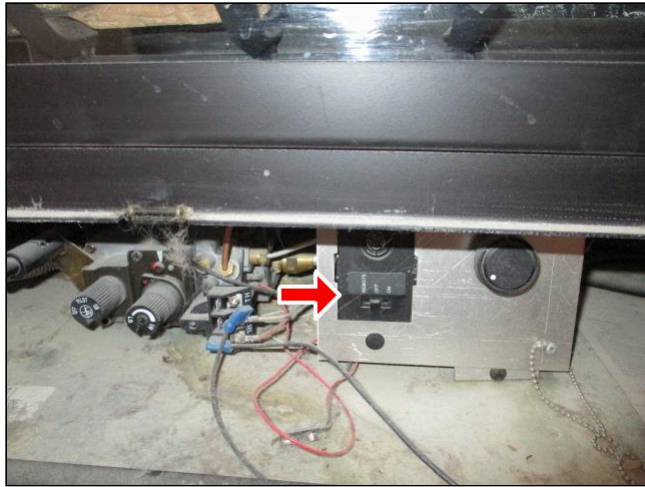
The fireplace in the living room was turned off at the primary controls. Changing settings at the primary controls lies beyond the scope of the General Home Inspection. You should ask the seller to demonstrate the functionality of this fireplace or have it inspected by a specialist.



10.2 Item 1(Picture) Living Room



10.2 Item 2(Picture)



10.2 Item 3(Picture)

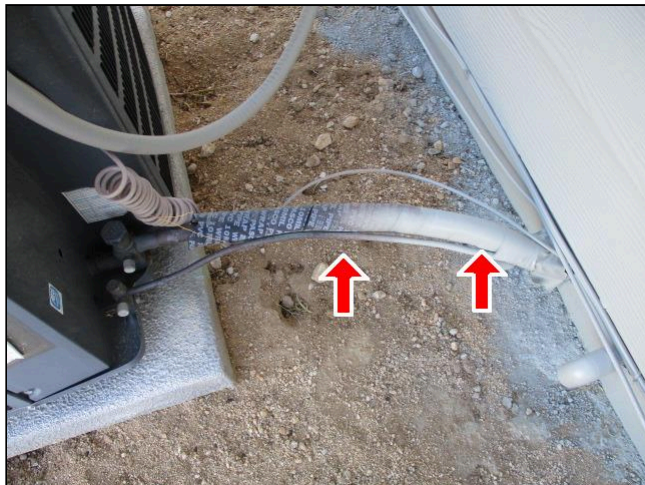
11. Cooling

11.0 Central Air Conditioner

Inspected
(2)

IMPROVEMENT AND REPAIR RECOMMENDED:

Damaged, deteriorated and/or missing insulation on the refrigerant lines should be repaired or replaced at the outside condenser



11.0 Item 11(Picture) rear of home

12. Bathrooms

12.0 Shower

Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The shower handle and spout is not sealed at the wall. This condition has the potential to allow water to leak back into the wall cavity.



12.0 Item 1(Picture) hallway



12.0 Item 2(Picture) master bathroom

12.2 Toilet

Repair/Replace

(1)

The toilet in the Master bathroom ran continuously at the time of the inspection. This usually indicates a failed flapper valve, the need for float mechanism adjustment or water leaking from the water tank into the bowl. Under some conditions, in homes with water supplied from a well, this condition can result in running the well dry and burning out the pump, requiring expensive repair. You should be diligent in maintaining toilet tank mechanisms in the future to avoid pump damage.



12.2 Item 1(Picture) master bathroom

(2)



12.2 Item 2(Picture)

IMPROVEMENT AND REPAIR RECOMMENDED:

The master bathroom, the toilet handle did not return to position, indicating that components in the tank need adjustment or replacement.



12.2 Item 3(Picture)



12.2 Item 4(Picture)

12.4 Cabinets

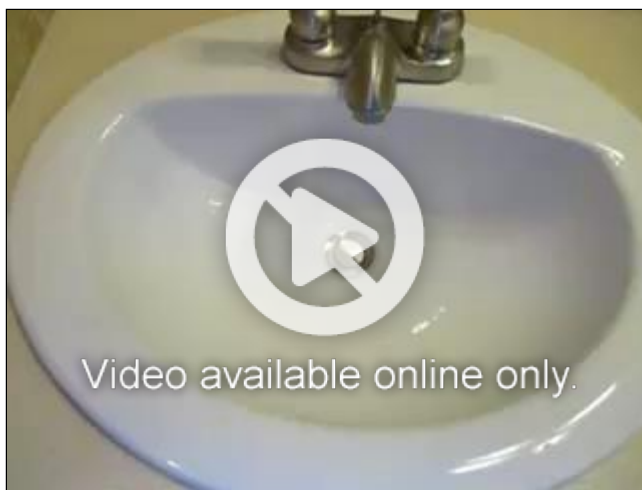
Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The sink in the hallway was slow to drain. The blockage should be located and cleared by a qualified plumbing contractor.



12.4 Item 1(Picture) hallway



12.4 Item 2(Video)

12.8 Floors

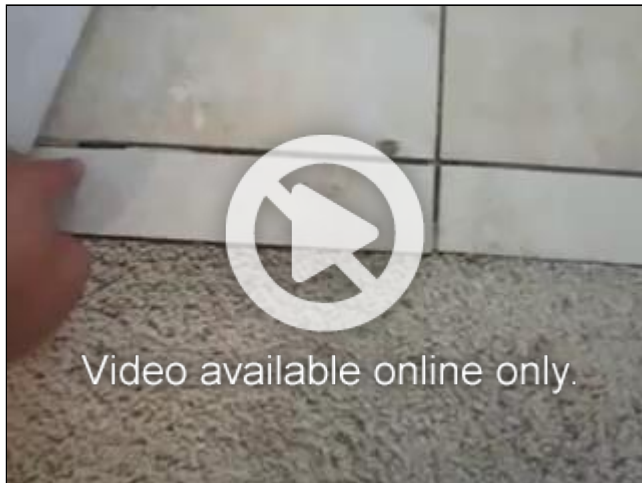
Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The master bathroom had severe floor tile damage visible at the time of the inspection. You should consult with a qualified contractor to discuss options and costs for repair.



12.8 Item 1(Picture)



12.8 Item 2(Video)



12.8 Item 3(Picture)

13. Kitchen and Built-in Appliances

13.2 Dishwasher

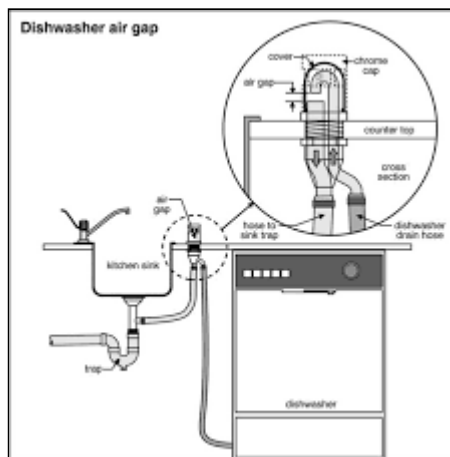
Repair/Replace

(1)

The dishwasher did not appear to have an anti-siphon device installed in the drain line. Anti-siphon devices are installed to prevent wastewater from the dishwasher from being siphoned back into the dishwasher and contaminating its contents. The Inspector recommends an anti-siphon device be installed by a qualified technician.



13.2 Item 1(Picture)



13.2 Item 2(Picture)

(2) **IMPROVEMENT AND REPAIR RECOMMENDED:**

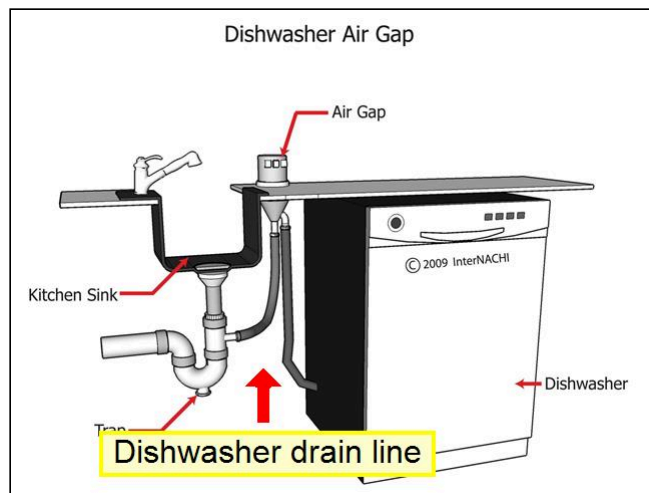
The dishwasher did not have a properly anchored high loop installed in the drain line at the time of the inspection. The high loop is designed to prevent wastewater from contaminating the dishwasher. This is an improper condition. The inspector recommends repair as soon as possible by a qualified contractor, or homeowner. This is an easy fix.



13.2 Item 3(Picture)



13.2 Item 4(Picture)



13.2 Item 5(Picture)

13.10 Floors

Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The kitchen floor had one or more broken tiles. The Inspector recommends repair by a qualified contractor. The Inspector recommends repair by a qualified contractor.



13.10 Item 1(Picture)

14. Laundry Room

14.2 Receptacles, Switches, Connections

Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

Electrical receptacles in the laundry room had no Ground Fault Circuit Interrupter (GFCI) protection. Although this condition may have been considered acceptable at the time the home was originally constructed, as knowledge of safe building practices has improved with the passage of time, building standards have changed to reflect current understanding. Consider having GFCI protection installed as a safety precaution for receptacles within 6 feet of a

plumbing fixture. This can be achieved by:

1. Replacing the current standard electrical receptacles with GFCI outlets;
2. Replacing the electrical receptacle nearest the overcurrent protection devices (breakers or fuses) protecting laundry room circuits with a GFCI receptacle; or
3. Replacing the breakers currently protecting the electrical circuits in the Laundry room with GFCI breakers.



14.2 Item 1(Picture) laundry room

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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