



Inspection Report

Property Address:
61774 Alta loma Dr
Joshua Tree CA 92252



R & R Home Inspections

Roberto Renderos



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R & R Home Inspections

Date: 11/17/2022	Time: 10:00 AM	Report ID: 20221117altaloma
Property: 61774 Alta loma Dr Joshua Tree CA 92252	Customer:	Real Estate Professional: Victor Rosales Realty Masters & Associates

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Standards of Practice:

InterNACHI International Association of
Certified Home Inspectors

Type of building::

Manufactured home

Approximate Square Footage::

2,214

**Approximate Year of Original
Construction::**

2006

Inspection started at::

10am

Inspection ended at::

1pm

Occupancy::

Unoccupied, empty of furniture

Attending the Inspection::

Inspector

Weather during the Inspection::

Clear

Ground/Soil surface condition:

Dry

Significant precipitation in last 3 days::

No

1. Roof

The roof inspection portion of the General Home Inspection will not be as comprehensive as an inspection performed by a qualified roofing contractor. Because of variations in installation requirements of the huge number of different roof-covering materials installed over the years, the General Home Inspection does not include confirmation of proper installation. Home Inspectors are trained to identify common deficiencies and to recognize conditions that require evaluation by a specialist. Inspection of the roof typically includes visual evaluation of the roof structure, roof-covering materials, flashing, and roof penetrations like chimneys, mounting hardware for roof-mounted equipment, attic ventilation devices, ducts for evaporative coolers, and combustion and plumbing vents. The roof inspection does not include leak-testing and will not certify or warranty the roof against future leakage. Other limitations may apply and will be included in the comments as necessary.

Styles & Materials

Primary roof-covering type::

Asphalt Shingle

Method of inspection::

Walked the roof

The roof style was::

Gable

Chimney flue material::

Metal

Drainage system description::

No roof drainage system installed

Items

1.0 Asphalt Composition Shingle

Comments: Inspected

The inspector observed no deficiencies when inspecting the roof.



1.0 Item 1(Picture)



1.0 Item 2(Picture)



1.0 Item 3(Picture)



1.0 Item 4(Picture)



1.0 Item 5(Picture)



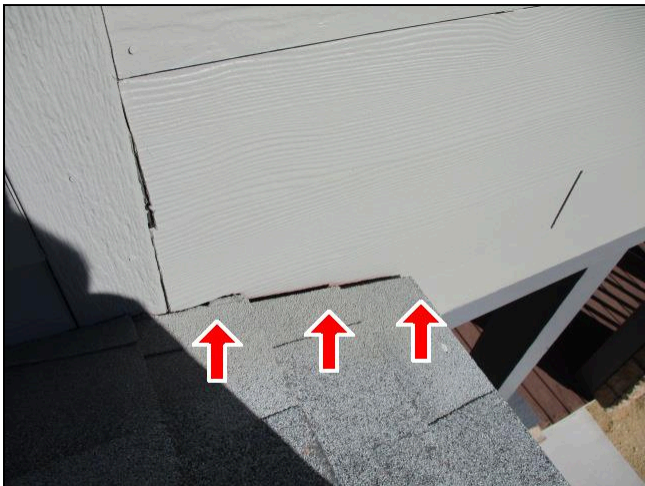
1.0 Item 6(Video)

1.1 Roof Flashing

Comments: Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The home had no kick-out flashing installed where walls extended past roof edges. Kick-out flashing is designed and installed to divert water from behind the exterior wall covering at areas of the home where a sidewall extends out past a connecting roof eve. This condition may allow moisture intrusion of the exterior wall covering. Moisture intrusion of the wall structure can damage home materials and encourage the growth of mold. Long term moisture intrusion can cause structural damage from wood decay. The Inspector recommends that before the expiration of your Inspection Objection Deadline, you consult with a qualified roofing contractor to discuss options and costs for kickout flashing installation.



1.1 Item 1(Picture)



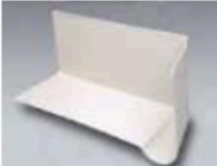
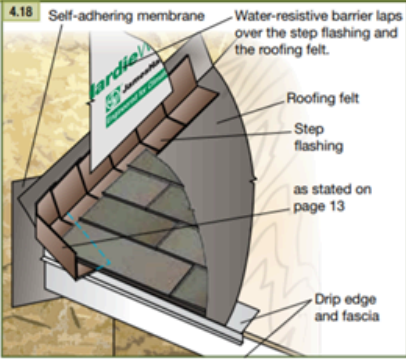
1.1 Item 2(Picture)

ROOF-TO-WALL FLASHING

Due to the volume of water that can run down a sloped roof, one of the most critical flashing details is where a roof intersects with a sidewall. Install a self-healing adhesive-backed membrane along the roof/wall intersection before flashing. The membrane on the wall should extend behind the eaves framing and should be installed before the sub-fascia or trim goes on.

The roof should then be flashed to the wall with step flashing positioned at every shingle course. Where the roof begins at its lowest point, install a kickout flashing to deflect water away from the siding. Kickout flashing can be made by cutting and bending a piece of step flashing at an angle. The water-resistive barrier on the wall should then lap over the step flashing.

There are several companies that sell pre-made kickout flashings that are designed to divert water away from the wall. Below is an example of a preformed polypropylene kickout. Be sure to follow all manufactures installation instructions.



Copyright © 2009 DryFlect. All rights reserved.

WARNING

Caution: The kickout flashing shall be min. 4 in. x 4 in. as required by IRC code R905.2.8.3 and be angled between 100° - 110° to deflect water from dumping behind the siding and the end of the roof intersection

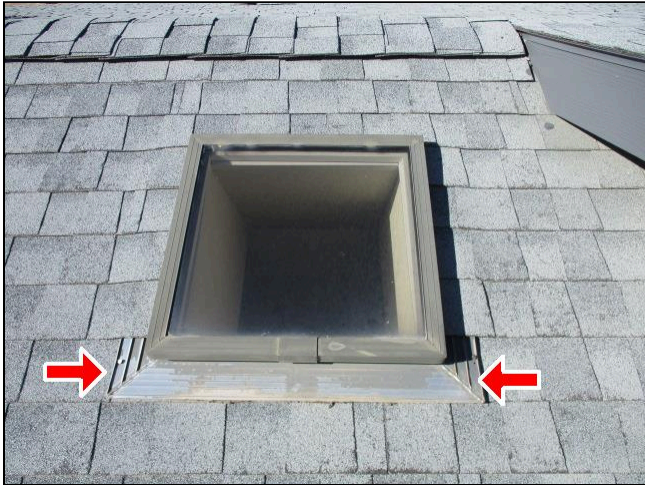
1.1 Item 3(Picture)

1.2 Skylight Exteriors

Comments: Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

Exposed fasteners were observed at the skylight . The Inspector recommends an evaluation and any necessary work be performed by a qualified roofing contractor.



1.2 Item 1(Picture)



1.2 Item 2(Picture)



1.2 Item 3(Picture)

1.3 Plumbing and Combustion Vents

Comments: Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

A plumbing vent pipe serving the drain, waste and vent system had inadequate clearance above the roof. To help ensure that they perform according to their design, plumbing vent pipes should terminate a minimum of 6 inches above the roof or above the level of anticipated snow accumulation. The Inspector recommends correction by a qualified plumbing contractor.



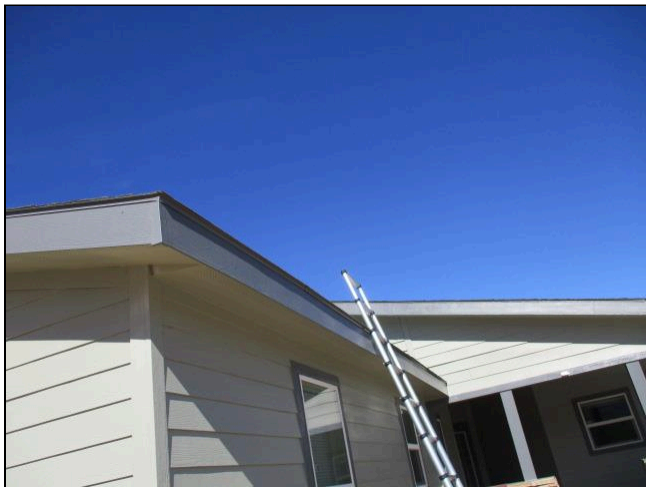
1.3 Item 1(Picture) left side (facing front)

1.4 Roof Drainage System

Comments: Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

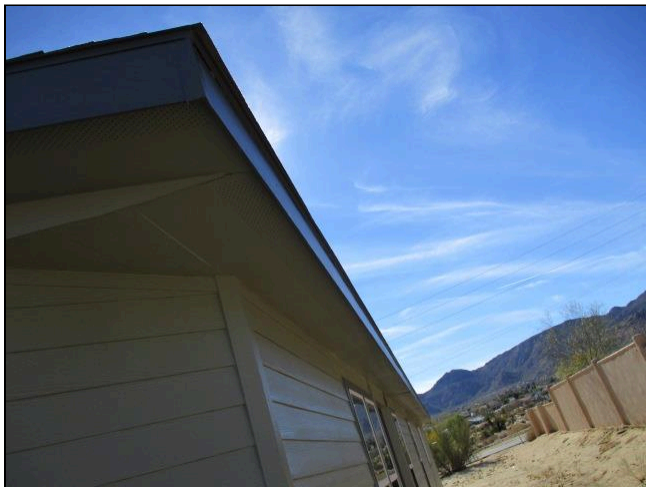
The home had no roof drainage system to channel roof drainage away from the foundation. The Inspector recommends installation of a roof drainage system to help protect the home structure and occupants.



1.4 Item 1(Picture)



1.4 Item 2(Picture)



1.4 Item 3(Picture)



1.4 Item 4(Picture)

1.5 Chimney at Roof
Comments: Inspected

No deficiencies noted at time of inspection.



1.5 Item 1(Picture)

2. Attic

Inspection of the attic typically includes visual examination the following:roof structure (framing and sheathing); roof structure ventilation; thermal envelope; electrical components (wiring, junction boxes, outlets, switches and lighting); plumbing components (supply and vent pipes, bathroom vent terminations) and HVAC components (drip pans, ducts, condensate and TPR discharge pipes)

Items

2.0 Attic Access

Comments: Not Inspected

The home had a low-slope roof which had no attic space and no access hatch was provided for inspection of roof framing. The roof framing was not inspected and the Inspector disclaims any responsibility for confirming its condition.

3. Exterior

Inspection of the home exterior typically includes: exterior wall covering materials; exterior trim; window and door exteriors; adequate surface drainage; driveway and walkways; window wells; exterior electrical and plumbing components; and retaining wall conditions that may affect the home structure. The potential for dangers/damage associated with trees- such as falling branches or root damage to foundations- varies with tree species and age, and requires an arborist evaluation.

The General Home Inspection does not include inspection of landscape irrigation systems, fencing or swimming pools/spas unless pre-arranged as ancillary inspections.

Styles & Materials

Walkway Materials::
Concrete

Driveway Material::
Concrete

Chimney Exterior Wall Covering
Material::
Artificial Stone

Items

3.0 Eaves, Soffits and Fascias

Comments: Inspected

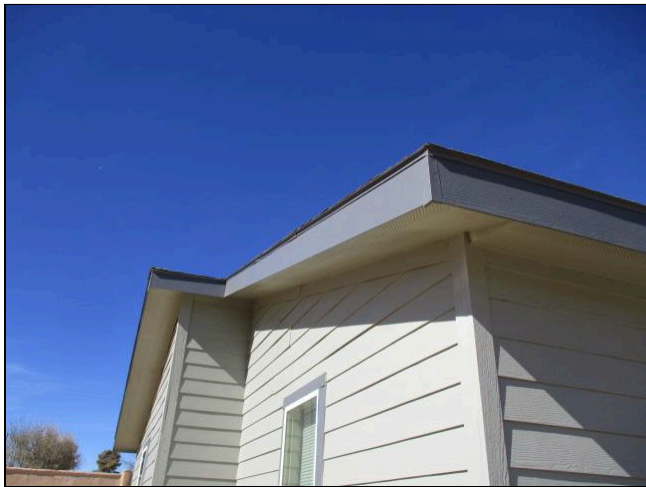
No deficiencies noted at time of inspection.



3.0 Item 1(Picture)



3.0 Item 2(Picture)



3.0 Item 3(Picture)



3.0 Item 4(Picture)

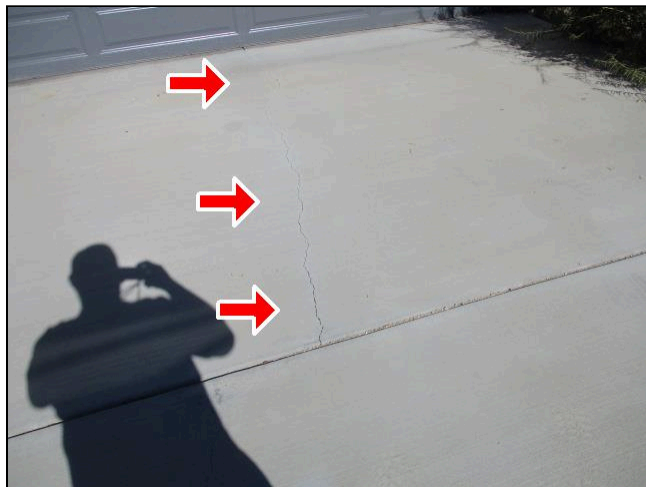
3.1 Driveway

R & R Home Inspections

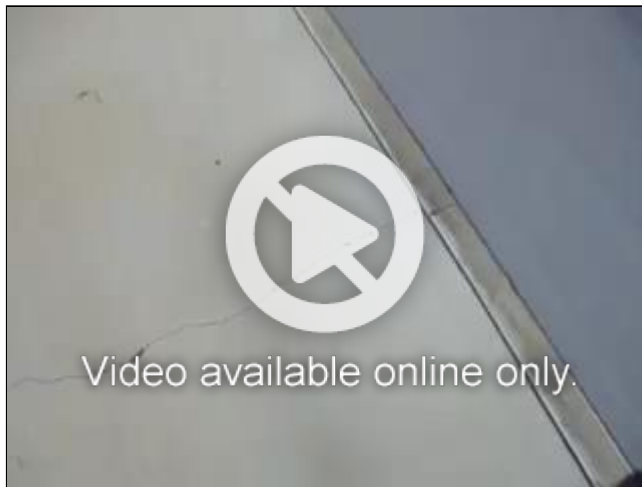
Comments: Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

Common cracks ($\frac{1}{4}$ -inch or less) were visible in the driveway at the time of the inspection. Cracks exceeding $\frac{1}{4}$ inch should be filled with an appropriate sealant to avoid continued damage to the driveway surface from freezing moisture.



3.1 Item 1(Picture)



3.1 Item 2(Video)

3.2 Fences, Gates, and Boundary Walls

Comments: Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

No fence was installed on the north and east side of the property.



3.2 Item 1(Picture)

3.3 General Grounds

Comments: Repair/Replace

(1)

IMPROVEMENT AND REPAIR RECOMMENDED:

Marginal site drainage was observed next to the deck structure. Proper drainage is needed to help prevent water from standing and/or ponding next to the crawl space and foundation.

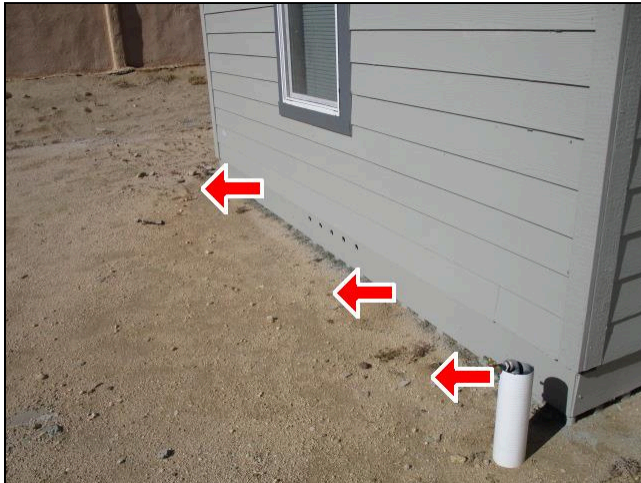


3.3 Item 1(Picture)

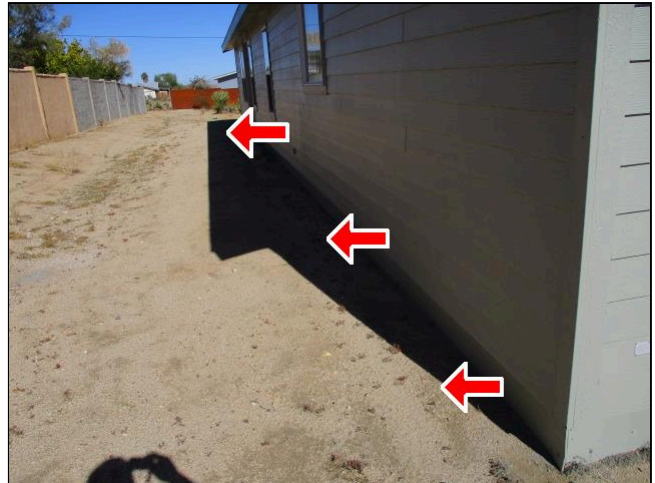
(2)

IMPROVEMENT AND REPAIR RECOMMENDED:

Swales at the side of the home were noted as being too shallow and can allow for water to flow out towards the foundation of the home during heavy rain fall or snow accumulation. It is recommended that the swales be cut deeper to prevent water accumulation next to the foundation walls and allow for sufficient drainage.



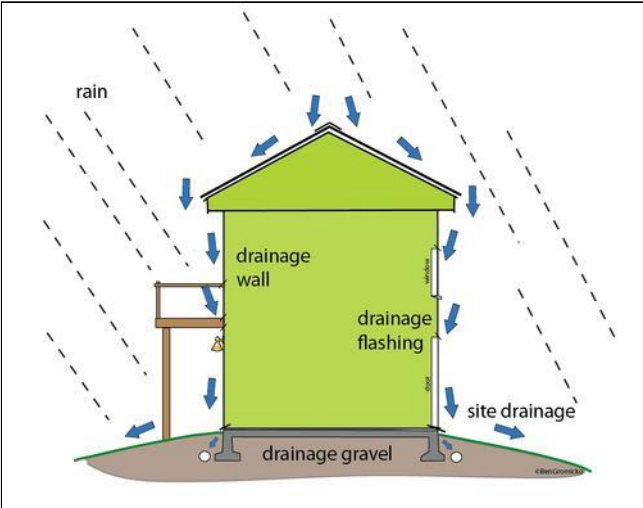
3.3 Item 2(Picture)



3.3 Item 3(Picture)



3.3 Item 4(Picture)

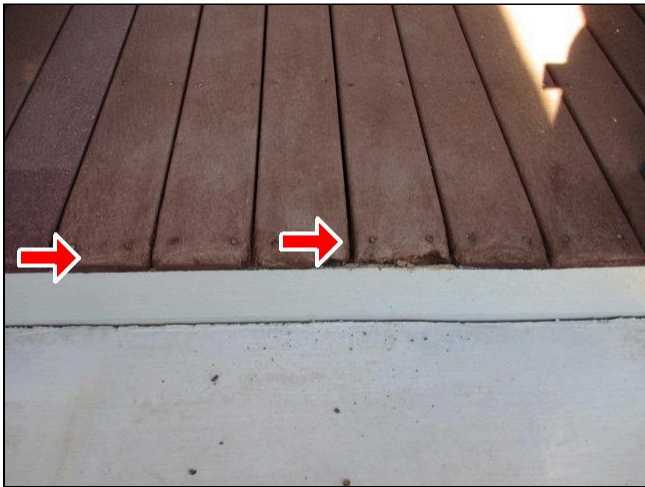


3.3 Item 5(Picture)

3.4 Deck, Balcony, Bridge and Porch,
Comments: Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

This deck exhibited moderate general deterioration at the time of the inspection.



3.4 Item 1(Picture) front of home



3.4 Item 2(Video)

4. Wall Exteriors

Styles & Materials

Exterior wall-covering Material:
Siding panels

Exterior Doors::
Solid wood

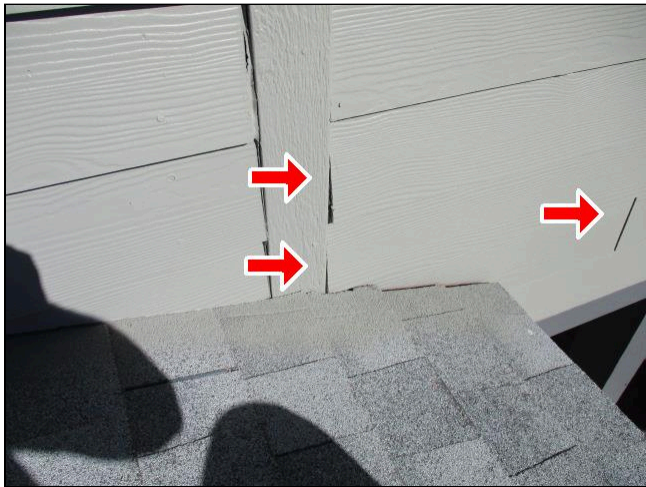
Items

4.0 Siding

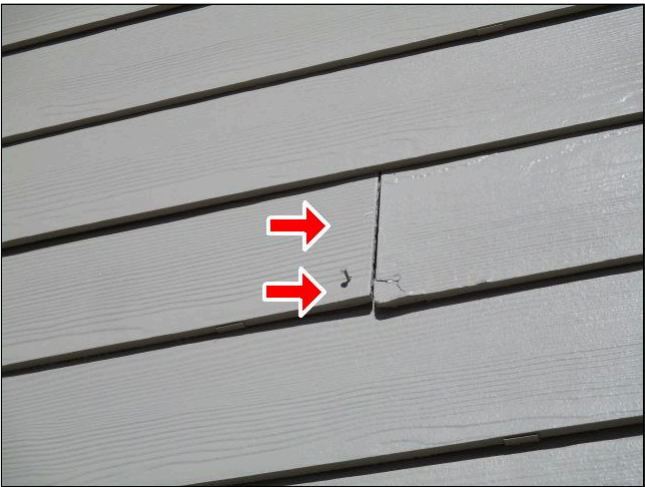
Comments: Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

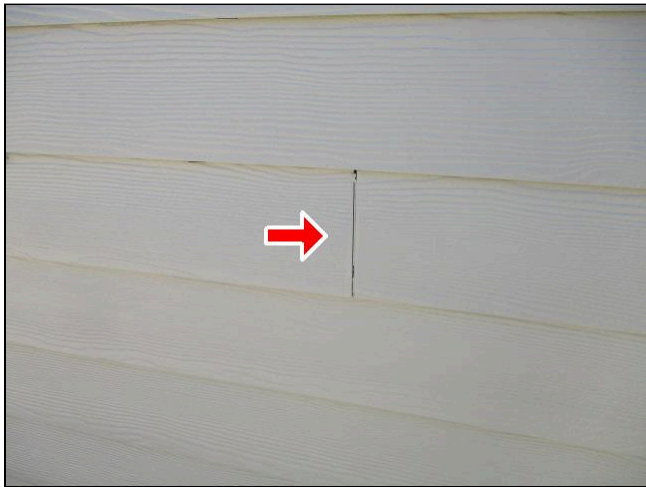
All joints between siding should be properly sealed. It is recommended to use elastomeric sealant.



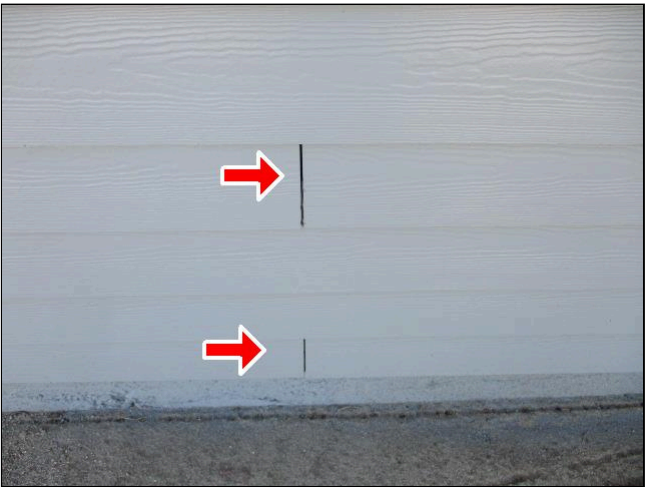
4.0 Item 1(Picture)



4.0 Item 2(Picture)



4.0 Item 3(Picture)



4.0 Item 4(Picture)



4.0 Item 5(Picture)

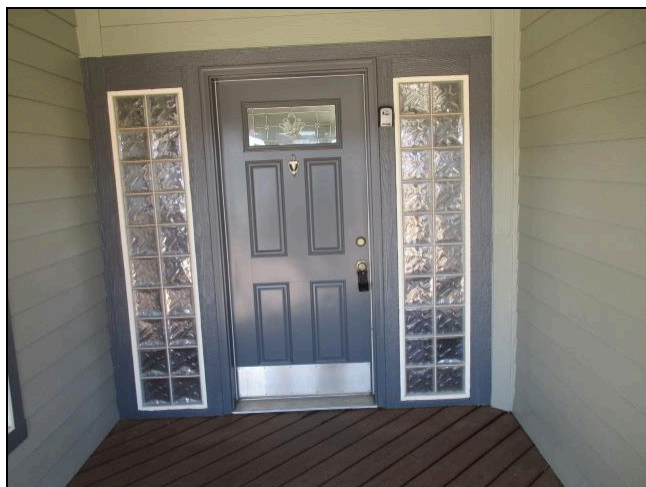


4.0 Item 6(Picture) front of home

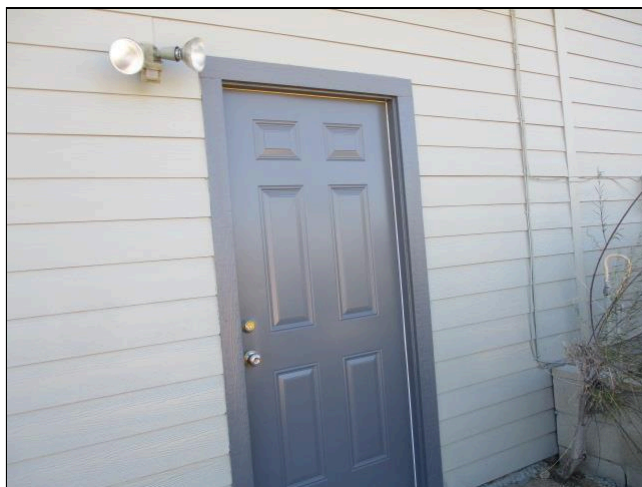
4.1 Door Exteriors

Comments: Inspected

The inspector observed no deficiencies.



4.1 Item 1(Picture) front of home



4.1 Item 2(Picture)

4.2 Window Exteriors

Comments: Repair/Replace

(1)

IMPROVEMENT AND REPAIR RECOMMENDED:

A window at the front of the house had a broken glass.



4.2 Item 1(Picture) front of home



4.2 Item 2(Video)

(2)

IMPROVEMENT AND REPAIR RECOMMENDED:

One or more of the window screens were observed to be damaged.



4.2 Item 3(Picture)

(3)

**IMPROVEMENT AND REPAIR
RECOMMENDED:**

Window bottom rail damaged or missing. The Inspector recommends that before the expiration of your Inspection Objection Deadline you consult with a qualified contractor to discuss options and costs for correction.



4.2 Item 4(Picture)

5. Structure

The General Home Inspection includes inspection of the home structural elements that were readily visible at the time of the inspection. This may include the: foundation; walls; floor structure; and/or roof structure. Soils vary in their stability and ability to support the weight of a structure. Minor cracking is normal with some common foundation materials, is typically limited to the material surface, is not a structural concern, and may not be commented on. Cracking related to soil/foundation movement indicates the potential for present or future structural concerns and will be commented on to the best of the inspector's ability.

Much of the home structure is hidden behind exterior and interior roof, floor, wall, and ceiling coverings, or is buried underground. Because the General Home Inspection is limited to visual and non-invasive methods, this report may not identify all structural deficiencies. Identification of portions of the wall structure not directly visible requires logical assumptions on the part of the Inspector that are based on the Inspectors past experience and knowledge of common building practices.

Upon observing indications that structural problems may exist that are not readily visible, or the evaluation of which lies beyond the Inspector's expertise, the inspector may recommend evaluation or testing by a specialist that may include invasive measures, which would require homeowner permission.

Styles & Materials

Foundation Configuration::

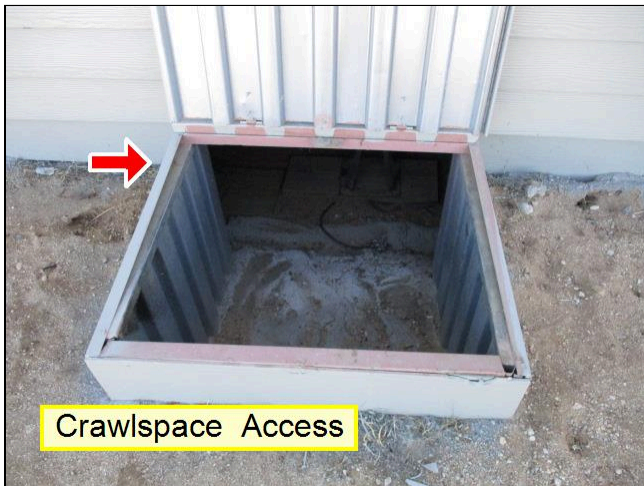
Crawlspace

Items

5.0 Crawlspace

Comments: Inspected

No deficiencies noted at time of inspection.



5.0 Item 1(Picture) rear of home



5.0 Item 2(Picture)



5.0 Item 3(Picture)



5.0 Item 4(Picture)



5.0 Item 5(Picture)



5.0 Item 6(Picture)



5.0 Item 7(Picture)



5.0 Item 8(Picture)



5.0 Item 9(Picture)



5.0 Item 10(Picture)

6. Interior

Inspection of the home interior does not include testing for mold, radon, asbestos, lead paint, or other environmental hazards unless specifically requested as an ancillary inspection. Inspection of the home interior typically includes: interior wall, floor and ceiling coverings and surfaces; doors and windows: condition, hardware, and operation; interior trim: baseboard, casing, molding, etc.; permanently-installed furniture, countertops, shelving, and cabinets; and ceiling and whole-house fans.

Styles & Materials

Walls and Ceilings::

Drywall

Floor Covering Materials::

Carpet
Tile

Interior Doors::

Solid
Hollow

Window Material::

Vinyl

Smoke/CO Detectors::

Smoke detectors installed (battery type)

Cabinets::

Solid Wood

Countertops::

Laminate

Window Glazing::

Double-pane

Items

6.0 Walls

Comments: Inspected

At the time of the inspection, the Inspector observed no deficiencies in the condition of the home walls.



6.0 Item 1(Picture)



6.0 Item 2(Picture)

6.1 Floors

Comments: Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The living room had severe floor tile damage visible at the time of the inspection. You should consult with a qualified contractor to discuss options and costs for repair.



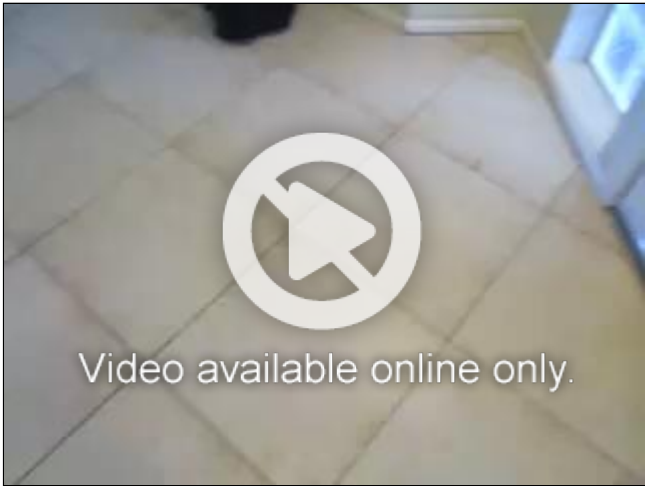
6.1 Item 1(Picture) Living Room



6.1 Item 2(Picture)



6.1 Item 3(Picture)

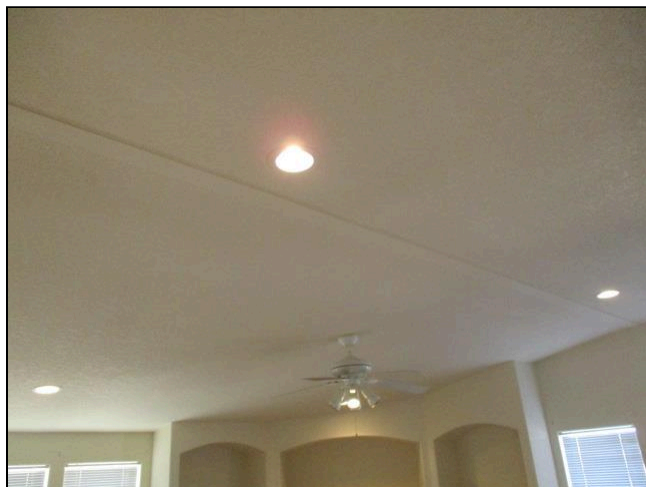


6.1 Item 4(Video)

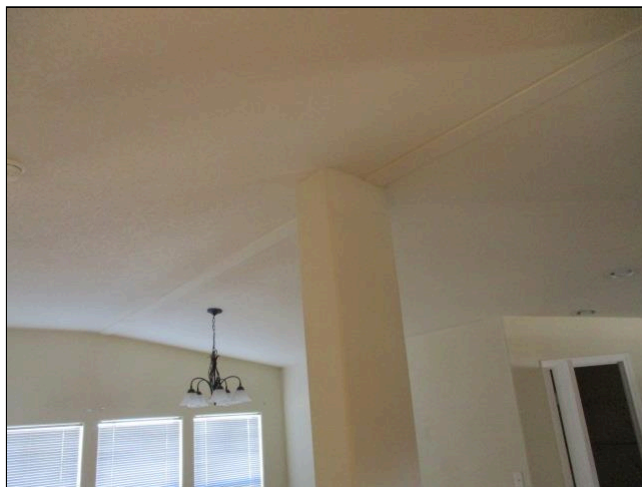
6.2 Ceilings

Comments: Inspected

At the time of the inspection, the Inspector observed no deficiencies in the condition of the home ceilings.



6.2 Item 1(Picture)

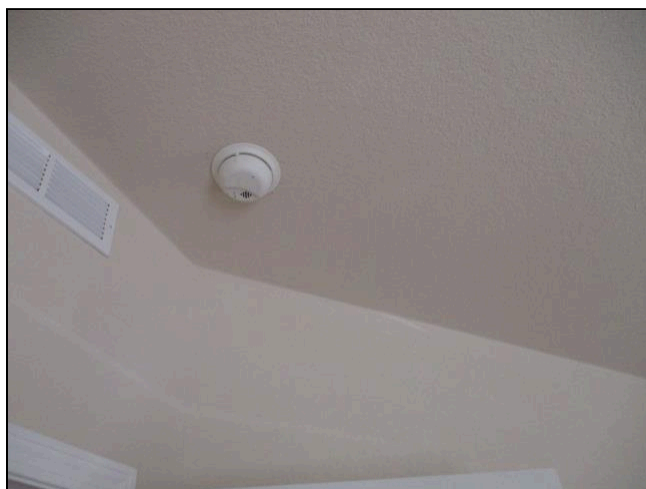


6.2 Item 2(Picture)

6.3 Smoke Detectors

Comments: Inspected

The smoke detectors should be tested at common hallway to bedrooms upon moving in to home. The actual detector mechanisms in smoke and carbon monoxide detectors usually only last 4 to 5 years. Even though the detector may sound when the "test" button is pushed, this button tests only the battery, not the detector. It is recommended that all smoke and carbon monoxide detectors be replaced every 5 years to ensure proper operation and protection.



6.3 Item 1(Picture)



6.3 Item 2(Picture)

6.4 Carbon Monoxide Detectors

Comments: Inspected

The carbon monoxide alarm(s) were inspected for location only. For future reference, testing with only the built-in test button verifies proper battery and horn function, but does not test the sensor.



6.4 Item 1(Picture)

6.5 Doors

Comments: Inspected

At the time of the inspection, the Inspector observed no deficiencies in the interior condition of exterior doors.

6.6 Lighting

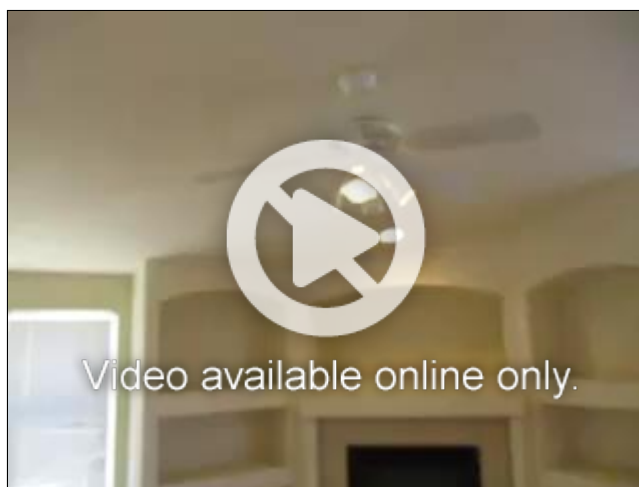
Comments: Inspected

At the time of the inspection, the Inspector observed no deficiencies in the condition of interior lighting.

6.7 Misc. Components: Ceiling fans, doorbells, Env. Hazards, Detectors, etc.

Comments: Inspected

At the time of the inspection, the Inspector observed no deficiencies in the condition of ceiling fans in the home.



6.7 Item 1(Video)

6.8 Windows and Skylights

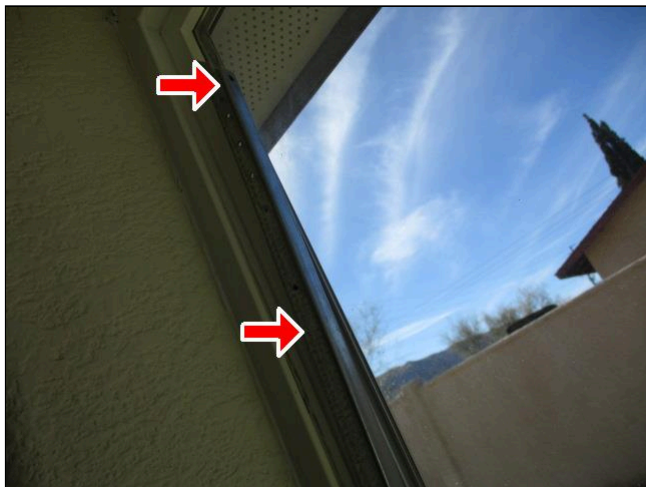
Comments: Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

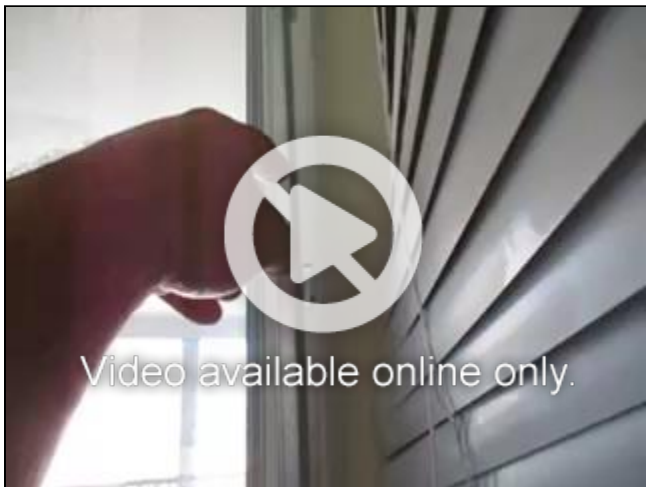
Few window in the interior are difficult to operate some are missing the window channel balance. Repair or replacement is recommended.



6.8 Item 1(Picture)



6.8 Item 2(Picture)



6.8 Item 3(Video)



6.8 Item 4(Picture)

7. Electrical

Over the years, many different types and brands of electrical components have been installed in homes. Electrical components and standards have changed and continue to change. Homes electrical systems are not required to be updated to meet newly enacted electrical codes or standards. Full and accurate inspection of electrical systems requires contractor-level experience. For this reason, full inspection of home electrical systems lies beyond the scope of the General Home Inspection.

The General Home Inspection is limited to identifying common electrical requirements and deficiencies. Conditions indicating the need for a more comprehensive inspection will be referred to a qualified electrical contractor. Inspection of the home electrical system typically includes visual inspection of the following: service drop: conductors, weatherhead, and service mast; electric meter exterior; service panel and sub-panels; service and equipment grounding; system and component bonding; and visible branch wiring: receptacles (representative number), switches, lighting

Styles & Materials

Electrical Service Conductors:: Underground service	Service Panel Type:: Edison Fuse Panel	Service Disconnect Location:: At Service Panel
Service Disconnect Type:: Breaker	Type of Branch Wiring:: Solid Copper	Service Panel Ampacity:: 200 amps
Service Panel Manufacturer:: Square D	Arc Fault Circuit Interruptor (AFCI) Protection:: YES	Service Grounding Electrode:: Driven rod
Ground Fault Circuit Interruptor (GFCI) Protection:: YES		

Items

7.0 Electric Meter

Comments: Inspected

At the time of the inspection, the Inspector observed no deficiencies in the condition of the electric meter. Electric meters are installed by utility companies to measure home electrical consumption.



7.0 Item 1(Picture) right side (facing front)



7.0 Item 2(Picture)

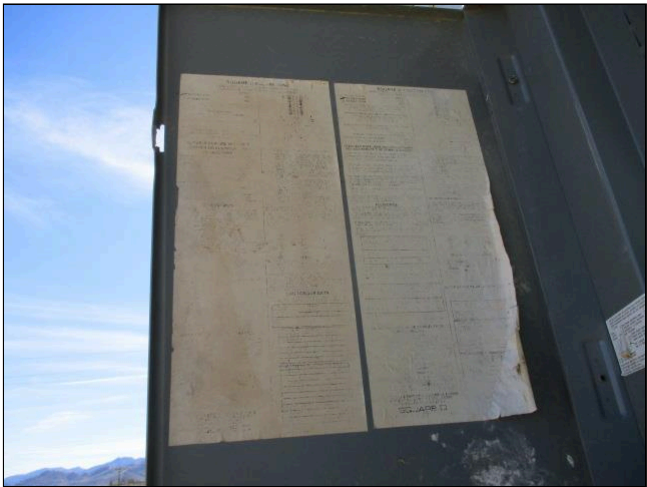
7.1 Service Panel Cabinet, Ampacity, and Cover

Comments: Inspected

No deficiencies noted at time of inspection.



7.1 Item 1(Picture)



7.1 Item 2(Picture)



7.1 Item 3(Picture)

7.2 Service Panel Wiring
Comments: Inspected

The inspector observed no deficiencies.



7.2 Item 1(Picture)



7.2 Item 2(Picture)

7.3 Conventional Electrical Receptacles (interior)

Comments: Inspected

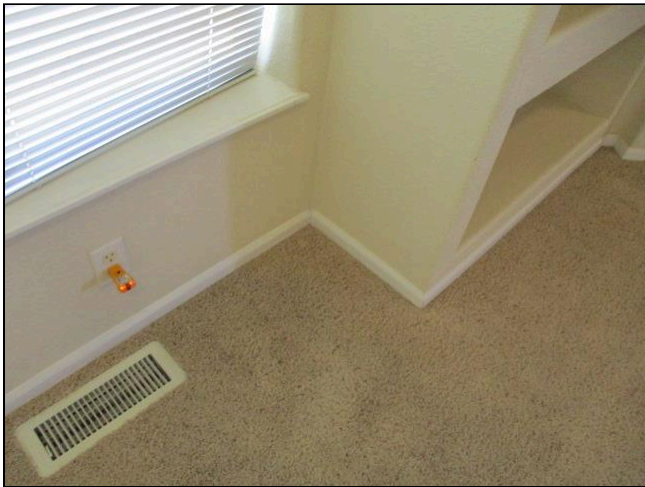
At the time of the inspection, the Inspector observed no deficiencies in the condition of electrical receptacles in the home. In accordance with the Standards of Practice, the inspector tested a representative number of accessible outlets only.



7.3 Item 1(Picture)



7.3 Item 2(Picture)



7.3 Item 3(Picture)



7.3 Item 4(Picture)

7.4 Sub-panels

Comments: Inspected

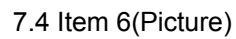
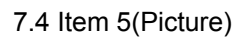
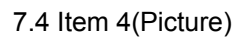
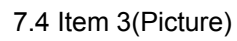
At the time of the inspection, the Inspector observed no deficiencies in the condition of the interior of this sub-panel.



7.4 Item 1(Picture) Washer/Dryer room



7.4 Item 2(Picture)



Comments: Inspected

Comments: Inspected

At the time of the inspection, the Inspector observed no deficiencies in the condition of exterior Ground Fault Circuit Interrupter (GFCI)-protected electrical receptacles.



7.5 Item 1(Picture)



7.5 Item 2(Picture)

7.6 Lighting

Comments: Inspected

No deficiencies noted at time of inspection.



7.6 Item 1(Picture)



7.6 Item 2(Picture)

8. Garage

Inspection of the garage typically includes examination of the following: general structure; floor, wall and ceiling surfaces; operation of all accessible conventional doors and door hardware; vehicle door condition and operation proper electrical condition including Ground Fault Circuit Interrupter (GFCI) protection; interior and exterior lighting; stairs and stairways proper firewall separation from living space; and proper floor drainage

Styles & Materials

Garage Door Type::	Number of Doors::	Number of Automatic Openers::
Single	1	1
Vehicle Door Automatic Reverse::		
Installed and operating correctly		

Items

8.0 Garage Doors

Comments: Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

A garage vehicle door failed to reverse when a reasonable amount of resistance was applied. The Inspector recommends service by a qualified garage door contractor.



8.0 Item 1(Picture)



8.0 Item 2(Picture)



8.0 Item 3(Video)

R & R Home Inspections

8.1 Garage Electrical

Comments: Inspected

Electrical receptacles in the garage had Ground Fault Circuit Interrupter (GFCI) protection that responded to testing in a satisfactory manner at the time of the inspection. The inspector tested a representative number of accessible receptacles only.



8.1 Item 1(Picture)

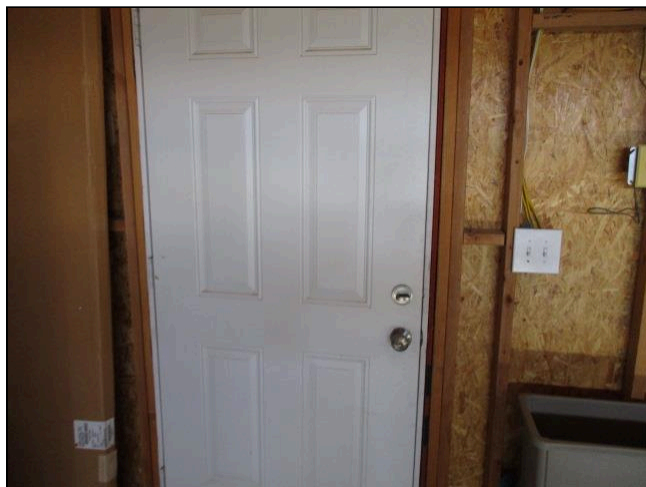


8.1 Item 2(Picture)

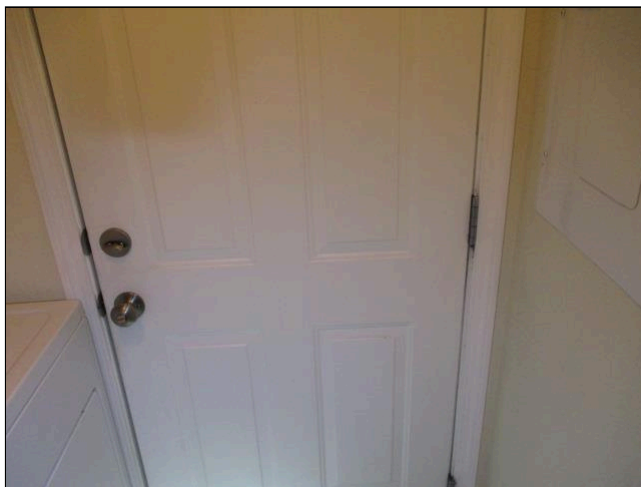
8.2 Conventional Doors

Comments: Inspected

No deficiencies noted at time of inspection.



8.2 Item 1(Picture)



8.2 Item 2(Picture)

8.3 Floors

Comments: Inspected

No deficiencies noted at time of inspection.



8.3 Item 1(Picture)

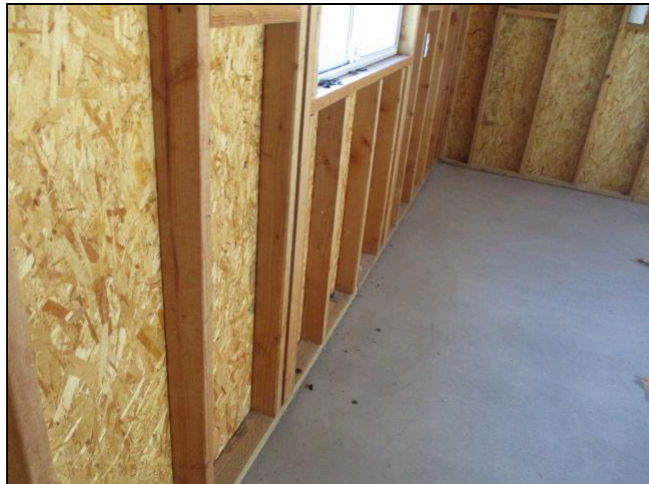


8.3 Item 2(Picture)

8.4 Walls

Comments: Inspected

At the time of the inspection, the Inspector observed no deficiencies in the condition of The garage walls.



8.4 Item 1(Picture)

8.5 Roof Framing

Comments: Inspected

The Inspector observed no deficiencies in the garage roof framing at the time of the inspection.



8.5 Item 1(Picture)



8.5 Item 2(Picture)

8.6 window

Comments: Inspected

No deficiencies noted at time of inspection.



8.6 Item 1(Picture)

9. Plumbing

Inspection of the plumbing system typically includes (limited) operation and visual inspection of: water supply source (identification as public or private); sewage disposal system (identification as public or private); water supply/distribution pipes; drain, waste and vent (DWV) system; water heater (type, condition and operation); gas system; and sump pump (confirmation of installation/operation).

Styles & Materials

Water Supply Source:: Public Water Supply	Main Water Supply Pipe:: Galvanized Steel Plastic	Water Distribution Pipes:: 1/2-inch galvanized steel Polyvinyl Chloride (PVC [cold pipes only])
Sewage System Type:: Septic system (not inspected)	Water Heater Manufacturer: Rheem	Water Heater Fuel Type: propane
Water Heater Type: Tank (conventional)	Gas Pipe Material:: Black Steel Galvanized Steel	Type of Gas:: Propane
Water Heater Tank Capacity: 40 gallons	Date of Manufacture: 2006	

Items

9.0 Gas Water Heater

Comments: Repair/Replace

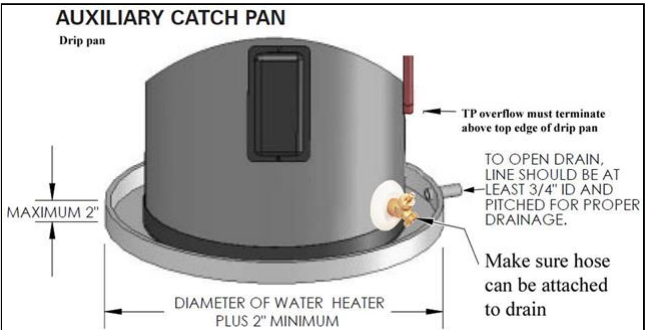
(1)

IMPROVEMENT AND REPAIR RECOMMENDED:

Drip pans are recommended below all hot water heaters,This will help contain leaks and prevent water damage.



9.0 Item 1(Picture)



9.0 Item 2(Picture)

(2)

IMPROVEMENT AND REPAIR RECOMMENDED:

Corrosion visible on water pipes connected to this water heater appeared to be the result of dissimilar metals in contact with each other. This condition can cause galvanic corrosion. The Inspector recommends installation of a dielectric union by a qualified plumbing contractor to help prevent further corrosion, deterioration and/or leakage made possible by this condition.



9.0 Item 3(Picture)

9.2 Gas System

Comments: Not Inspected

Evaluation of propane tanks lies beyond the scope of the general Home Inspection. The propane tanks can be evaluated by the contractor supplying the home with propane.



9.2 Item 1(Picture)



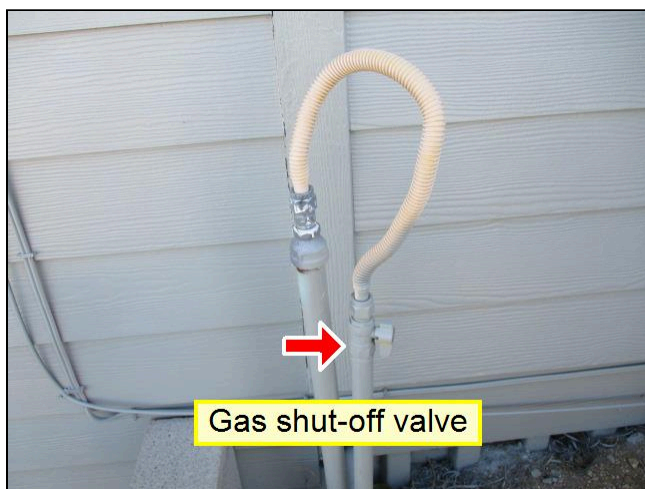
9.2 Item 2(Picture)



9.2 Item 3(Picture)



9.2 Item 4(Picture)



9.2 Item 5(Picture) rear of home

9.3 Source of Water

Comments: Inspected

At the time of the inspection, the Inspector observed no deficiencies in the condition of the main water supply shut-off valve. It was not operated but was visually inspected.



9.3 Item 1(Picture) front of home



9.3 Item 2(Picture)

9.4 Exterior Plumbing

Comments: Repair/Replace

Corroded supply pipes . The Inspector recommends replacement by a qualified contractor to prevent future damage.



9.4 Item 1(Picture) front of home



9.4 Item 2(Video)



9.4 Item 3(Picture)

9.5 Water Supply and Distribution

Comments: Inspected

The water pressure is 80 PSI. It is within the recommended 40 to 80 PSI standard.



9.5 Item 1(Picture)



9.5 Item 2(Picture)

9.6 Sewage and DWV Systems

Comments: Not Inspected

Due to the location of most components underground and the visual nature of the General Home Inspection I did not inspect the private onsite wastewater treatment (septic) system. Because these can be one of the most expensive systems in the home to repair or replace, I strongly recommend that before the expiration of your Inspection Objection Deadline, you have it inspected by a certified specialist.

10. Heating

Heating system inspection will not be as comprehensive as that performed by a qualified heating, ventilating, and air-conditioning (HVAC) system contractor. For example: identification of cracked heat exchangers requires a contractor evaluation. Report comments are limited to identification of common requirements and deficiencies. Observed indications that further evaluation is needed will result in referral to a qualified HVAC contractor. The general home inspection does not include any type of heating system warranty or guaranty. Inspection of heating systems is limited to basic evaluation based on visual examination and operation using normal controls. Report comments are limited to identification of common requirements and deficiencies. Observed indications that further evaluation is needed will be referred to a qualified heating, ventilating, and air-conditioning (HVAC) contractor. Inspection of heating systems typically includes (limited) operation and visual inspection of: the heating appliance (confirmation of adequate response to the call for heat); proper heating appliance location; proper or adequate heating system configuration; exterior cabinet condition; fuel supply configuration and condition; combustion exhaust venting; heat distribution components; proper condensation discharge; and temperature/pressure relief valve and discharge pipe (presence, condition, and configuration).

Styles & Materials

Heating System Type::

Gas-fired Furnace (high efficiency)

Energy Source::

Propane

Number of Heat Systems (excluding wood)::

One

Heating System Brand::

Intertherm

Heating/Cooling Ducts::

Insulated

Items

10.0 Furnace

Comments: Inspected

This furnace responded adequately to the call for heat.



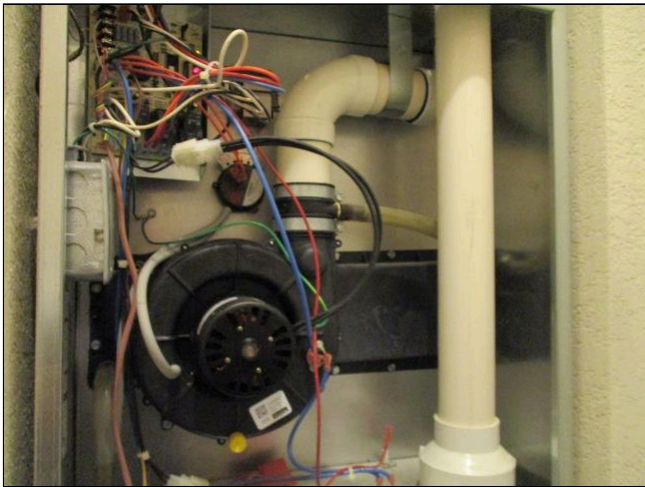
10.0 Item 1(Picture) Washer/Dryer room



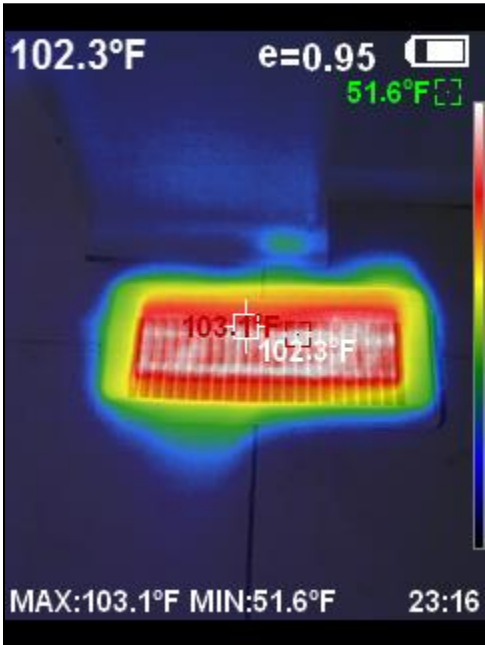
10.0 Item 2(Picture)



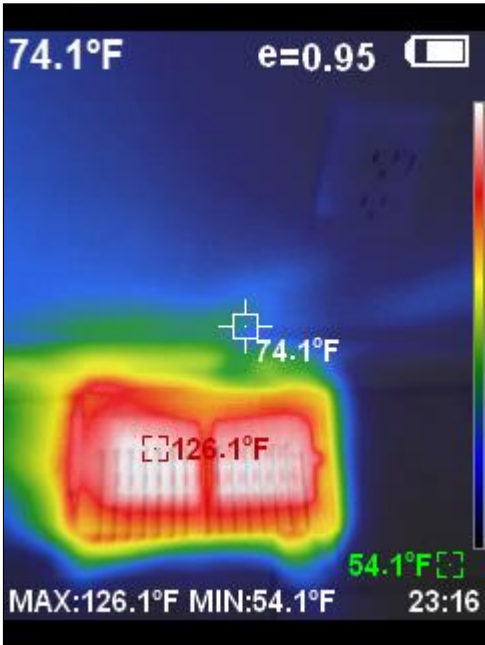
10.0 Item 3(Picture)



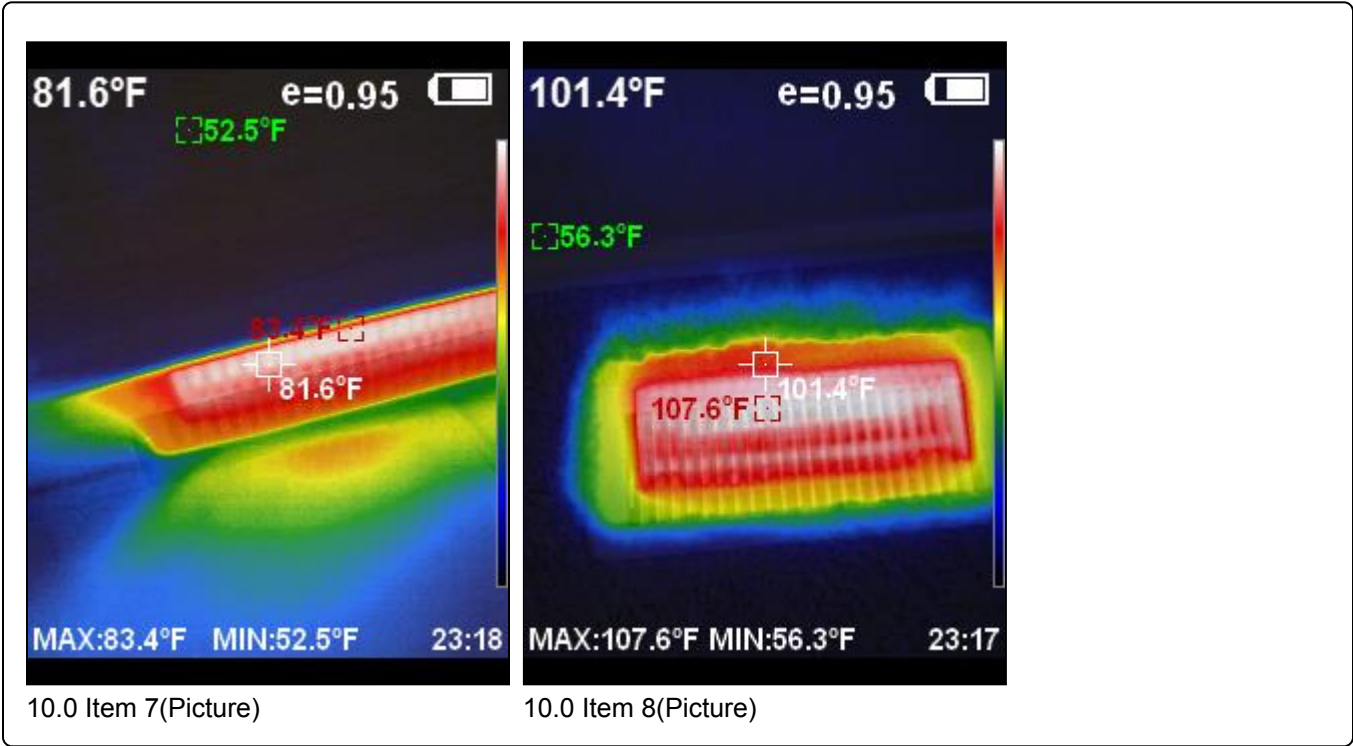
10.0 Item 4(Picture)



10.0 Item 5(Picture)




10.0 Item 6(Picture)



10.1 Thermostat

Comments: Inspected

Thermostat was satisfactory.Components responded normally to controls.



10.1 Item 1(Picture) Living Room

10.2 Fireplace

Comments: Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

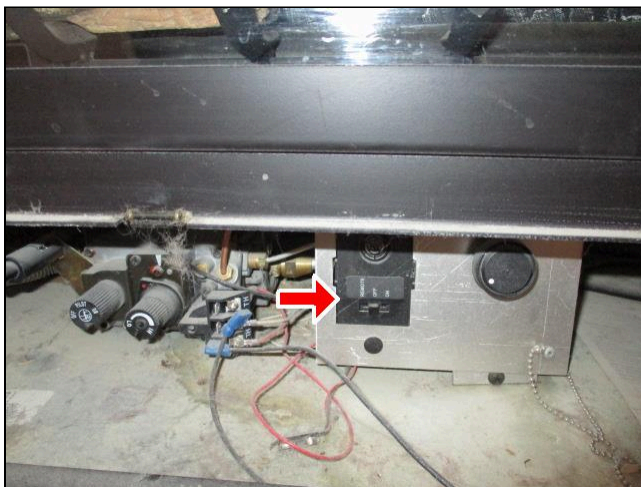
The fireplace in the living room was turned off at the primary controls. Changing settings at the primary controls lies beyond the scope of the General Home Inspection. You should ask the seller to demonstrate the functionality of this fireplace or have it inspected by a specialist.



10.2 Item 1(Picture) Living Room



10.2 Item 2(Picture)



10.2 Item 3(Picture)

11. Cooling

Inspection of home cooling systems typically includes visual examination of readily observable components for adequate condition, and system testing for proper operation using normal controls. Cooling system inspection will not be as comprehensive as that performed by a qualified heating, ventilating, and air-conditioning (HVAC) system contractor. Report comments are limited to identification of common requirements and deficiencies. Observed indications that further evaluation is needed will result in referral to a qualified HVAC contractor. To avoid the potential for system damage, the air-conditioning system will not be operated if the outside air temperature is below 65 degrees F (17 C).

Styles & Materials

Number of cooling systems (excluding window AC): One	Cooling System Type:: Split System (indoor and outdoor components)	Cooling Equipment Energy Source:: Electricity
Cooling System Manufacturer:: Goodman		

Items

11.0 Central Air Conditioner

Comments: Inspected

(1)

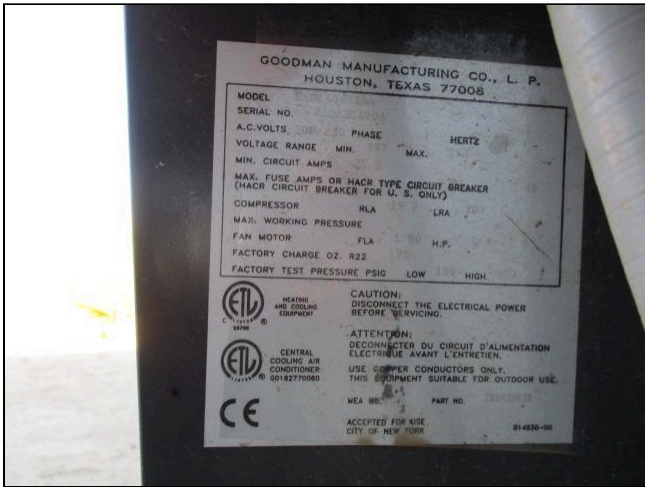
At the time of the inspection, the Inspector observed no deficiencies in the condition of the air-conditioning system.



11.0 Item 1(Picture)



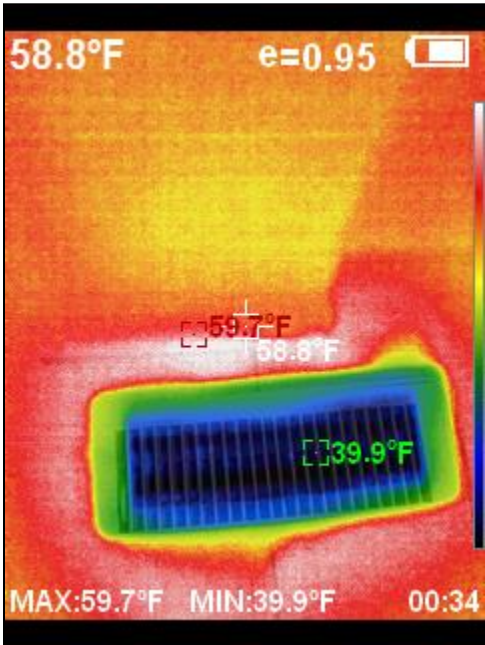
11.0 Item 2(Picture)



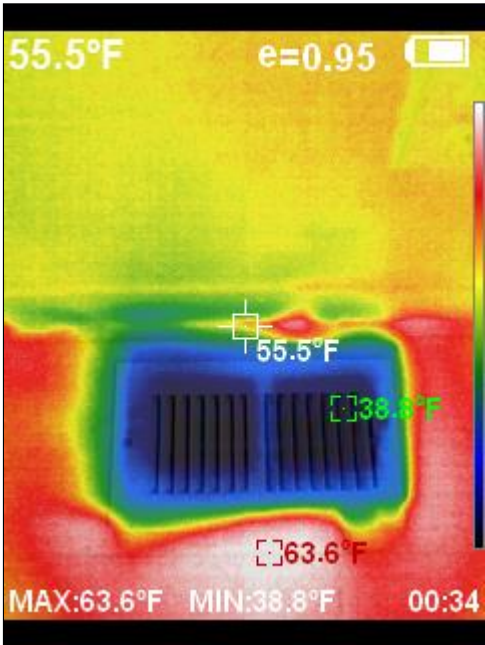
11.0 Item 3(Picture)



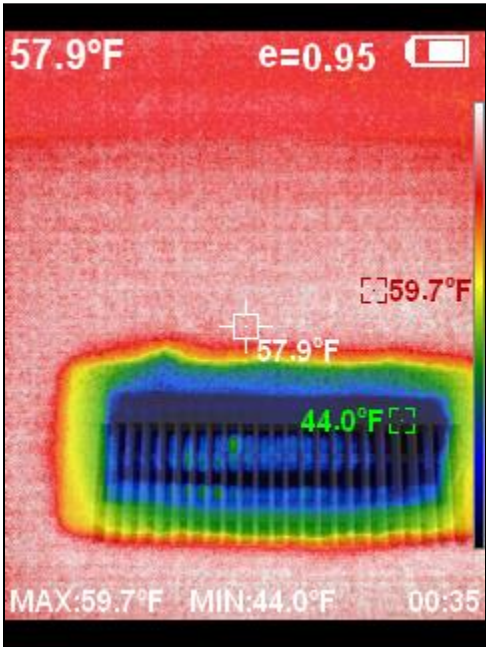
11.0 Item 4(Picture)



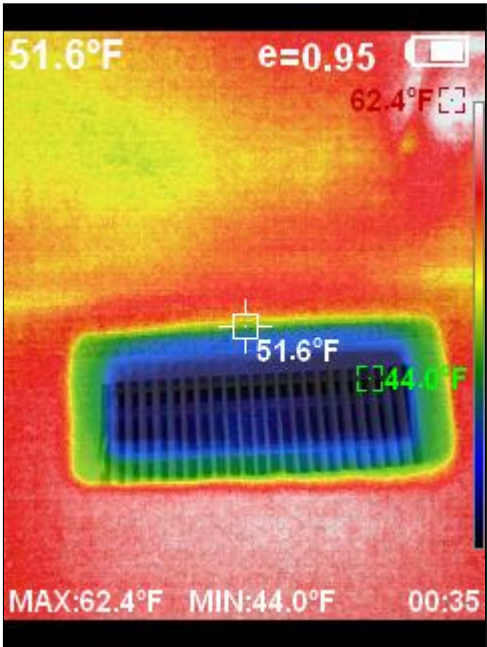
11.0 Item 5(Picture)



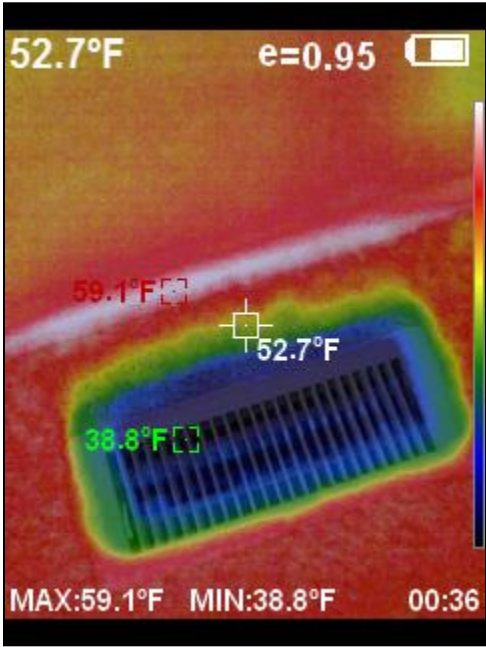
11.0 Item 6(Picture)



11.0 Item 7(Picture)



11.0 Item 8(Picture)



11.0 Item 9(Picture)

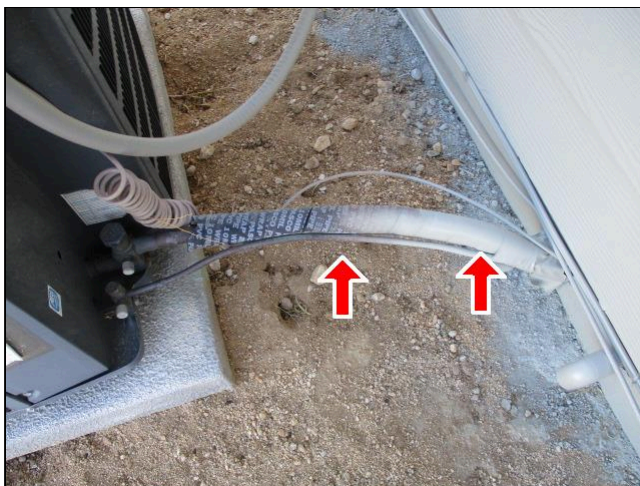


11.0 Item 10(Video)

(2)

**IMPROVEMENT AND REPAIR
RECOMMENDED:**

**Damaged, deteriorated and/or
missing insulation on the
refrigerant lines should be repaired
or replaced at the outside
condenser**



11.0 Item 11(Picture) rear of home

12. Bathrooms

Inspection of the bathrooms typically includes the following:walls, floors and ceiling; sink (basin, faucet, overflow); cabinets (exteriors, doors, drawers, undersink); toilet/bidet tub and shower (valves, showerhead, walls, enclosure); electrical (outlets, lighting); and room ventilation

Styles & Materials

Sink:: 2 sinks in a cabinet	Toilet Type:: Low-volume flush (1.6 gal. [6 litres] or less)	Cabinets:: Solid Wood
Shower:: Fiberglass enclosure	Exhaust Fans: Fan only	Bathub:: Fiberglass

Items

12.0 Shower

Comments: Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The shower handle and spout is not sealed at the wall. This condition has the potential to allow water to leak back into the wall cavity.



12.0 Item 1(Picture) hallway



12.0 Item 2(Picture) master bathroom

12.1 Doors

Comments: Inspected

No deficiencies noted at time of inspection.

12.2 Toilet

Comments: Repair/Replace

(1)

The toilet in the Master bathroom ran continuously at the time of the inspection. This usually indicates a failed flapper valve, the need for float mechanism adjustment or water leaking from the water tank into the bowl. Under some conditions, in homes with water supplied from a well, this condition can result in running the well dry and burning out the pump, requiring expensive repair. You should be diligent in maintaining toilet tank mechanisms in the future to avoid pump damage.



12.2 Item 1(Picture) master bathroom



12.2 Item 2(Picture)

(2)

IMPROVEMENT AND REPAIR RECOMMENDED:

The master bathroom, the toilet handle did not return to position, indicating that components in the tank need adjustment or replacement.



12.2 Item 3(Picture)



12.2 Item 4(Picture)

12.3 Bathtub

Comments: Inspected

At the time of the inspection, the Inspector observed no deficiencies in the condition of bathtub components. Bathtub inspection includes testing for:

- Functional flow;
- Functional drainage;
- Proper operation of shut-off valves, spout, stopper, showerhead and diverter valve.



12.3 Item 1(Picture)

12.4 Cabinets

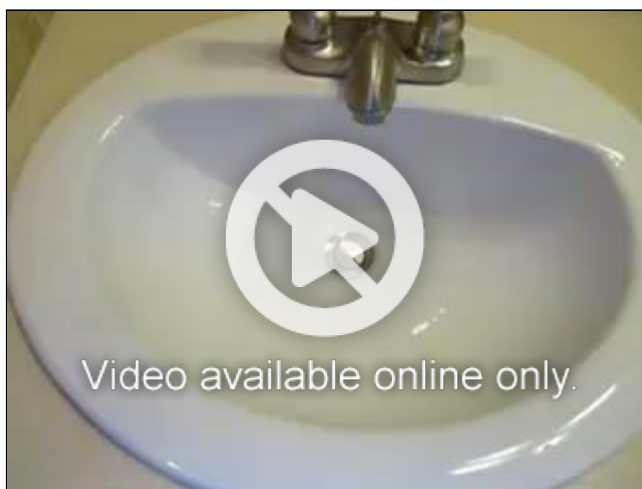
Comments: Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The sink in the hallway was slow to drain. The blockage should be located and cleared by a qualified plumbing contractor.



12.4 Item 1(Picture) hallway



12.4 Item 2(Video)

12.5 Electrical Receptacles and Switches

Comments: Inspected

No deficiencies noted at time of inspection.



12.5 Item 1(Picture)

12.6 Ventilation

Comments: Inspected

The inspector observed no deficiencies.

12.7 Walls

Comments: Inspected

No deficiencies noted at time of inspection.

12.8 Floors

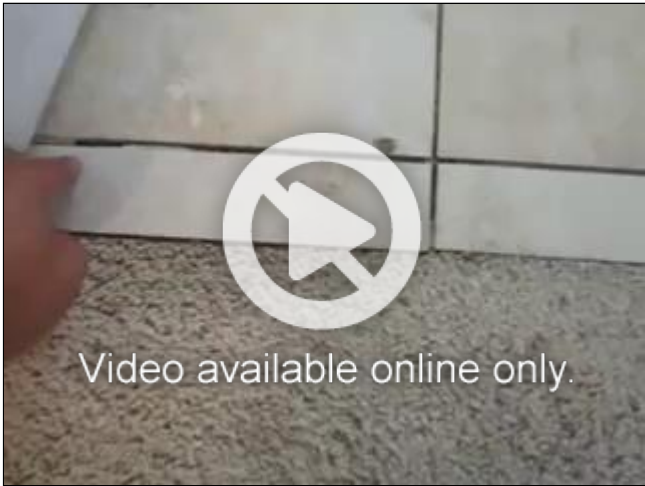
Comments: Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The master bathroom had severe floor tile damage visible at the time of the inspection. You should consult with a qualified contractor to discuss options and costs for repair.



12.8 Item 1(Picture)



12.8 Item 2(Video)



12.8 Item 3(Picture)

12.9 Lighting

Comments: Inspected

The inspector observed no deficiencies.

12.10 Ceilings

Comments: Inspected

No deficiencies noted at time of inspection.

13. Kitchen and Built-in Appliances

Inspection of kitchens typically includes (limited) operation and visual inspection of the following: wall, ceiling and floor; windows, skylights and doors; range/cooktop (basic functions, anti-tip); range hood (fan, lights, type); dishwasher; Cabinetry exterior and interior; door and drawer; Sink basin condition; supply valves; adequate trap configuration; functional water flow and drainage; disposal; Electrical switch operation; and outlet placement, grounding, and GFCI protection. **Note: Appliances are operated at the discretion of the Inspector.**

Styles & Materials

Range:: Gas	Range/Oven Brand:: General Electric	Countertop Material:: Laminate
Cabinets:: Solid Wood	Garbage Disposal brand:: General Electric	Dishwasher:: Present, Inspected
Dishwasher brand:: General Electric	Dishwasher Anti-siphon method:: No anti-siphon installed	

Items

13.0 Range

Comments: Inspected

At the time of the inspection, the Inspector observed no deficiencies in the condition or operation of the gas range. The self-cleaning feature was not tested. Inspection of gas ranges is limited to basic functions, such as testing of the range-top burners, and bake/broil features of the oven.



13.0 Item 1(Picture)



13.0 Item 2(Picture)

13.1 Built-in Microwave

Comments: Inspected

Range hood is integral to the built-in microwave and is a recirculating type, rather than a vented type. In the event of heavy cooking smoke, some of the smoke may re-enter the kitchen via the re-circulation vent. With re-circulating type range hoods, care must be taken to regularly (bi-monthly) clean the metal grease filter located under the hood in order to ensure the proper operation of the unit.



13.1 Item 1(Picture)



13.1 Item 2(Picture)

13.2 Dishwasher

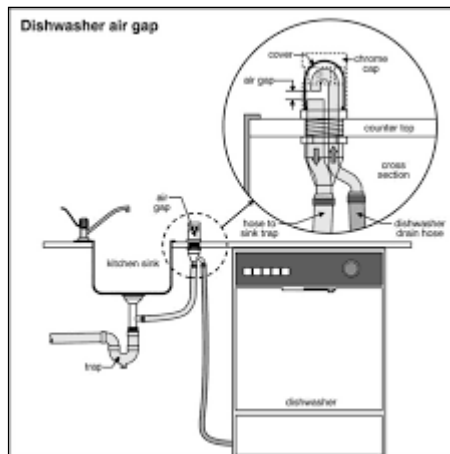
Comments: Repair/Replace

(1)

The dishwasher did not appear to have an anti-siphon device installed in the drain line. Anti-siphon devices are installed to prevent wastewater from the dishwasher from being siphoned back into the dishwasher and contaminating its contents. The Inspector recommends an anti-siphon device be installed by a qualified technician.



13.2 Item 1(Picture)



13.2 Item 2(Picture)

(2) **IMPROVEMENT AND REPAIR RECOMMENDED:**

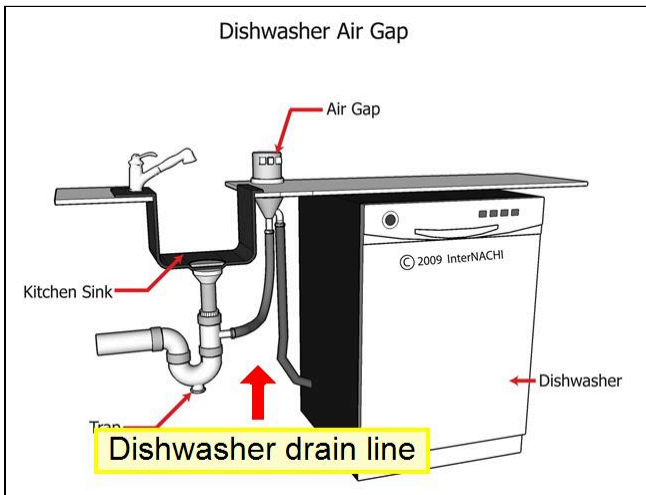
The dishwasher did not have a properly anchored high loop installed in the drain line at the time of the inspection. The high loop is designed to prevent wastewater from contaminating the dishwasher. This is an improper condition. The inspector recommends repair as soon as possible by a qualified contractor, or homeowner. This is an easy fix.



13.2 Item 3(Picture)



13.2 Item 4(Picture)



13.2 Item 5(Picture)

13.3 Refrigerator

Comments: Inspected

At the time of the inspection, the Inspector observed no deficiencies in the condition of the refrigerator.



13.3 Item 1(Picture)



13.3 Item 2(Picture)

13.4 Cabinets

Comments: Inspected

Cabinets are showing signs of normal wear and tear. All doors and drawers function normally.



13.4 Item 1(Picture)



13.4 Item 2(Picture)



13.4 Item 3(Picture)



13.4 Item 4(Picture)

13.5 Garbage Disposal

Comments: Inspected

The home depended on a private onsite wastewater treatment (septic) system for sewage disposal, and also had a garbage disposal mounted in the kitchen sink - Most garbage disposals exert pressure on septic systems; limit their use to prolong the life of your system and decrease tank pumping intervals. - Solids from the garbage disposal settle and decompose more slowly, increasing the frequency of the need for pumping - Pump your tank at proper intervals. Failure to pump the tank at proper intervals may result in solid waste from the tank entering and clogging distribution or leach field pipes. This can lead to the necessity for replacing the leach field, which can be very costly. - Do not use additives. If your system is operating correctly you won't need them. If your system is not operating correctly, you should have it inspected by a qualified inspector or contractor to determine the source of the problem and have it corrected. Garbage disposals are now available that are made for use with homes dependant upon private wastewater treatment systems.

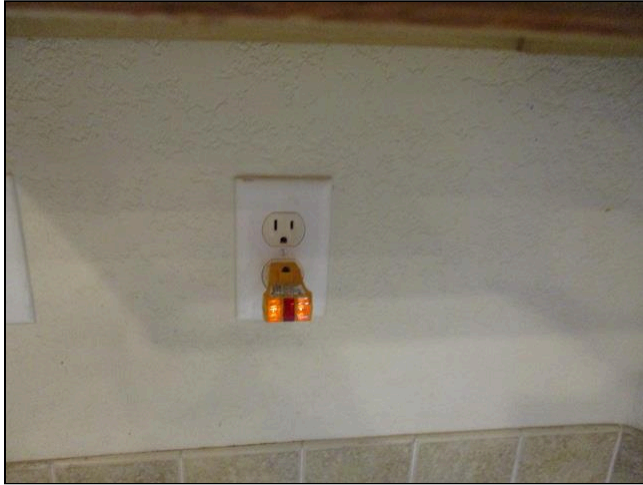


13.5 Item 1(Picture)

13.6 Receptacles and Switches

Comments: Inspected

At the time of the inspection, the Inspector observed no deficiencies in the condition of electrical receptacles in the kitchen.



13.6 Item 1(Picture)



13.6 Item 2(Picture)



13.6 Item 3(Picture)

13.7 Lighting

Comments: Inspected

At the time of the inspection, the Inspector observed no deficiencies in the condition and operation of the kitchen lights.



13.7 Item 1(Picture)

13.8 Walls

Comments: Inspected

No deficiencies noted at time of inspection.

13.9 Ceilings

Comments: Inspected

No deficiencies noted at time of inspection.

13.10 Floors

Comments: Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The kitchen floor had one or more broken tiles. The Inspector recommends repair by a qualified contractor. The Inspector recommends repair by a qualified contractor.



13.10 Item 1(Picture)

14. Laundry Room

In addition to those items typically inspected as part of the interior, inspection of the laundry room includes examination of the following: dryer connections and venting; room ventilation; and provision of proper clothes washer waste pipe.

Styles & Materials

Dryer Power:: Electric Propane	Dryer Gas Supply:: Propane (LP)	Dryer Vent:: Smooth-bore metal (UL-approved)
Dryer 240-volt electrical receptacle:: Modern 4-prong		

Items

14.0 Dryer Venting

Comments: Inspected

Dry vent was in satisfactory condition. The dryer vent should be cleaned and inspected every 6 to 12 months as part of regular home maintenance.



14.0 Item 1(Picture)



14.0 Item 2(Picture)

14.1 Washing Machine valve

Comments: Inspected

No deficiencies noted at time of inspection.



14.1 Item 1(Picture)

14.2 Receptacles, Switches, Connections

Comments: Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

Electrical receptacles in the laundry room had no Ground Fault Circuit Interrupter (GFCI) protection. Although this condition may have been considered acceptable at the time the home was originally constructed, as knowledge of safe building practices has improved with the passage of time, building standards have changed to reflect current understanding. Consider having GFCI protection installed as a safety precaution for receptacles within 6 feet of a plumbing fixture. This can be achieved by:

1. Replacing the current standard electrical receptacles with GFCI outlets;
2. Replacing the electrical receptacle nearest the overcurrent protection devices (breakers or fuses) protecting laundry room circuits with a GFCI receptacle; or
3. Replacing the breakers currently protecting the electrical circuits in the Laundry room with GFCI breakers.



14.2 Item 1(Picture) laundry room

14.3 Lighting

Comments: Inspected

At the time of the inspection, the Inspector observed no deficiencies in the condition and operation of lights in the laundry room.

14.4 Cabinets

Comments: Inspected

At the time of the inspection, the Inspector observed no deficiencies in the condition of the laundry room cabinets.

General Summary



R & R Home Inspections

Customer

Address

61774 Alta loma Dr
Joshua Tree CA 92252

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

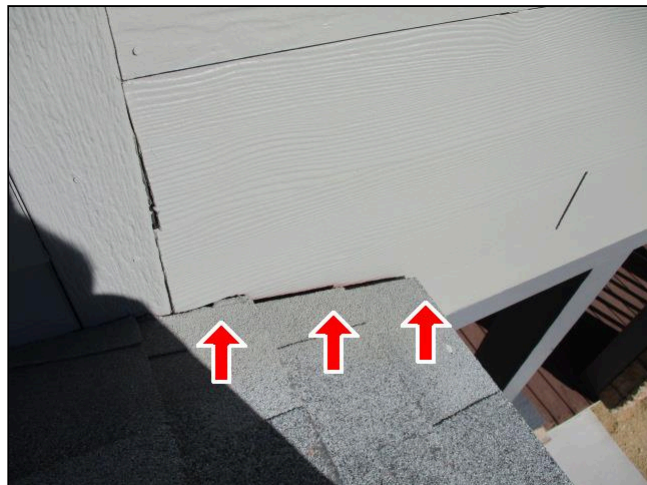
1. Roof

1.1 Roof Flashing Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The home had no kick-out flashing installed where walls extended past roof edges. Kick-out flashing is designed and installed to divert water from behind the exterior wall covering at areas of the home where a sidewall extends out past a connecting roof eave. This condition may allow moisture intrusion of the exterior wall covering. Moisture intrusion of the wall structure can damage home materials and encourage the growth of mold. Long term moisture intrusion can cause structural damage from wood decay. The Inspector recommends that before the expiration of your Inspection Objection Deadline, you consult with a qualified roofing contractor to discuss options and costs for kickout

flashing installation.



1.1 Item 1(Picture)



1.1 Item 2(Picture)

ROOF-TO-WALL FLASHING

Due to the volume of water that can run down a sloped roof, one of the most critical flashing details is where a roof intersects with a sidewall. Install a self-healing adhesive-backed membrane along the roof/wall intersection before flashing. The membrane on the wall should extend behind the eaves framing and should be installed before the sub-fascia or trim goes on.

The roof should then be flashed to the wall with step flashing positioned at every shingle course. Where the roof begins at its lowest point, install a kickout flashing to deflect water away from the siding. Kickout flashing can be made by cutting and bending a piece of step flashing at an angle. The water-resistive barrier on the wall should then lap over the step flashing.

There are several companies that sell pre-made kickout flashings that are designed to divert water away from the wall. Below is an example of a preformed polypropylene kickout. Be sure to follow all manufactures installation instructions.

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⚠

WARNING

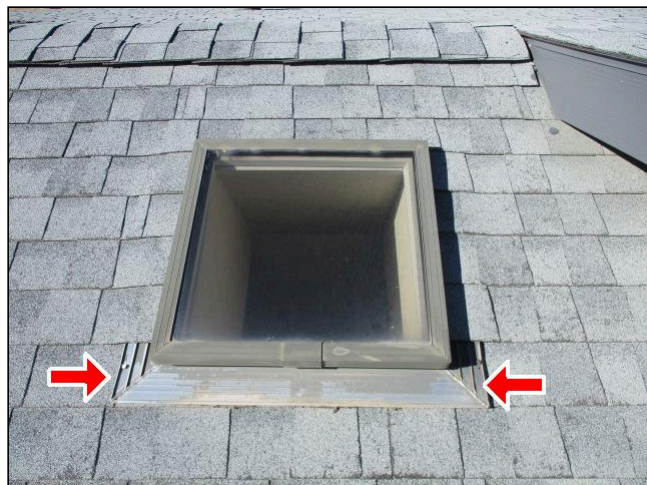
Caution: The kickout flashing shall be min. 4 in. x 4 in. as required by IRC code R905.2.8.3 and be angled between 100° - 110° to deflect water from dumping behind the siding and the end of the roof intersection

1.1 Item 3(Picture)

1.2 Skylight Exteriors Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

Exposed fasteners were observed at the skylight . The Inspector recommends an evaluation and any necessary work be performed by a qualified roofing contractor.



1.2 Item 1(Picture)



1.2 Item 2(Picture)



1.2 Item 3(Picture)

1.3 Plumbing and Combustion Vents
Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

A plumbing vent pipe serving the drain, waste and vent system had inadequate clearance above the roof. To help ensure that they perform according to their design, plumbing vent pipes should terminate a minimum of 6 inches above the roof or above the level of anticipated snow accumulation. The Inspector recommends correction by a qualified plumbing contractor.

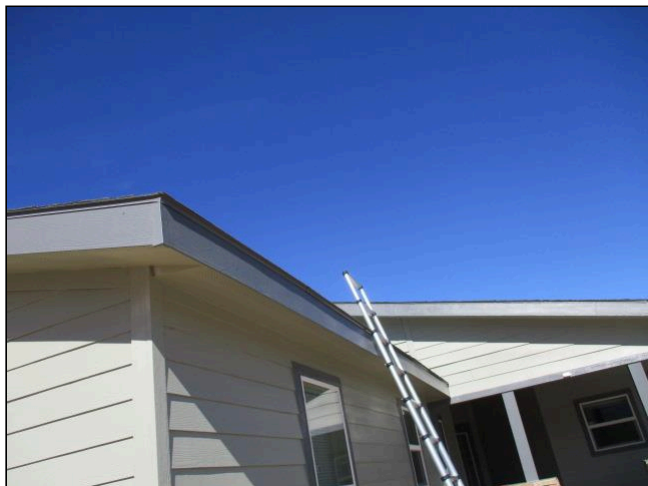


1.3 Item 1(Picture) left side (facing front)

1.4 Roof Drainage System
Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The home had no roof drainage system to channel roof drainage away from the foundation. The Inspector recommends installation of a roof drainage system to help protect the home structure and occupants.



1.4 Item 1(Picture)



1.4 Item 2(Picture)



1.4 Item 3(Picture)



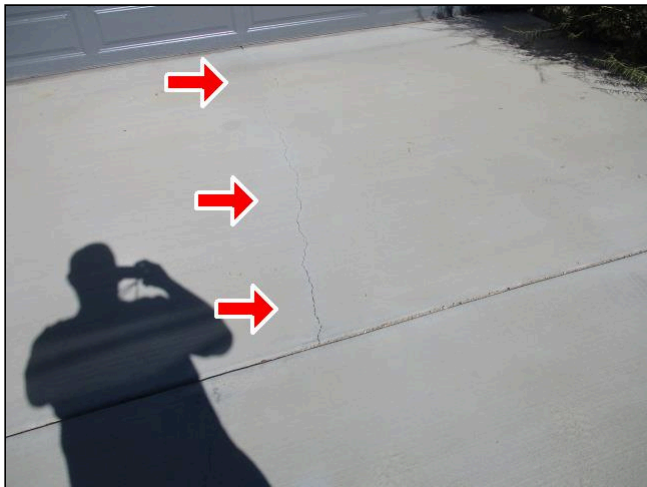
1.4 Item 4(Picture)

3. Exterior

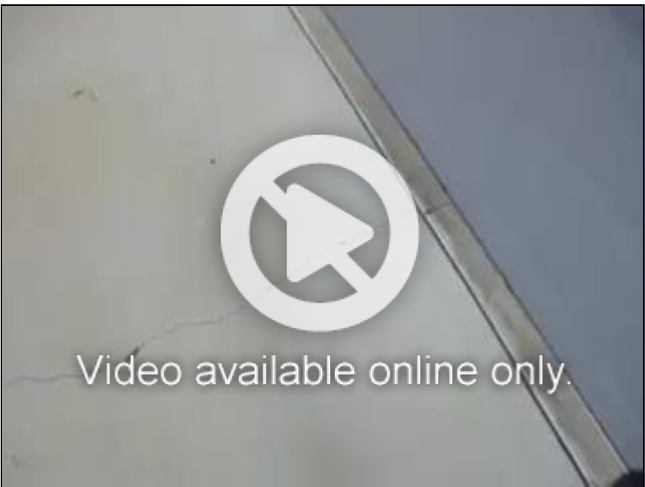
3.1 Driveway
Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

Common cracks (1/4-inch or less) were visible in the driveway at the time of the inspection. Cracks exceeding 1/4 inch should be filled with an appropriate sealant to avoid continued damage to the driveway surface from freezing moisture.



3.1 Item 1(Picture)



3.1 Item 2(Video)

3.2 Fences, Gates, and Boundary Walls
Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

No fence was installed on the north and east side of the property.



3.2 Item 1(Picture)

3.3 General Grounds

Repair/Replace

(1)

IMPROVEMENT AND REPAIR RECOMMENDED:

Marginal site drainage was observed next to the deck structure. Proper drainage is needed to help prevent water from standing and/or ponding next to the crawl space and foundation.

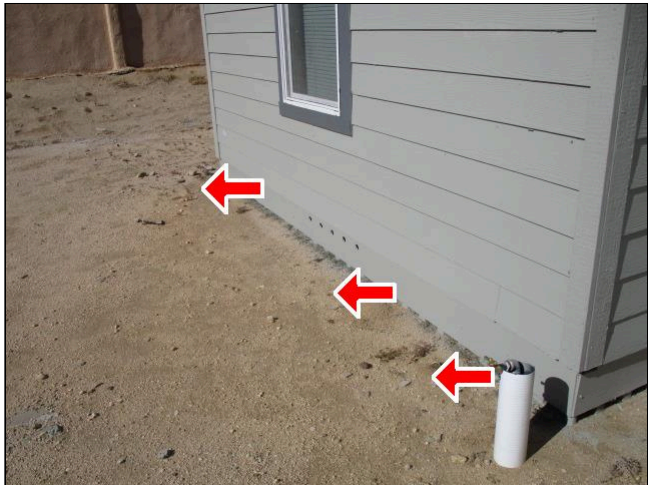


3.3 Item 1(Picture)

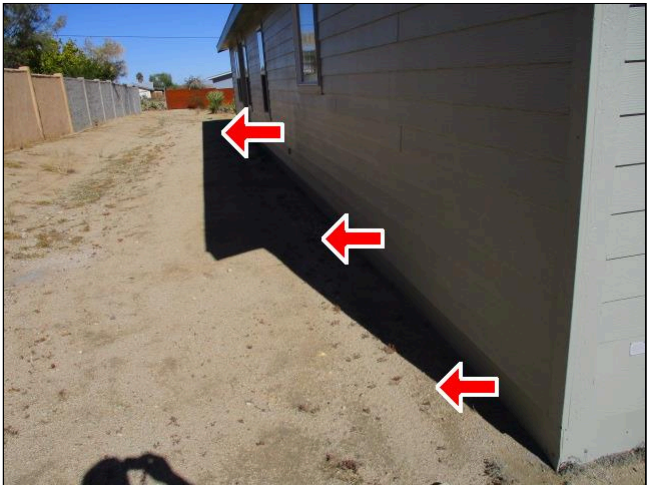
(2)

IMPROVEMENT AND REPAIR RECOMMENDED:

Swales at the side of the home were noted as being too shallow and can allow for water to flow out towards the foundation of the home during heavy rain fall or snow accumulation. It is recommended that the swales be cut deeper to prevent water accumulation next to the foundation walls and allow for sufficient drainage.



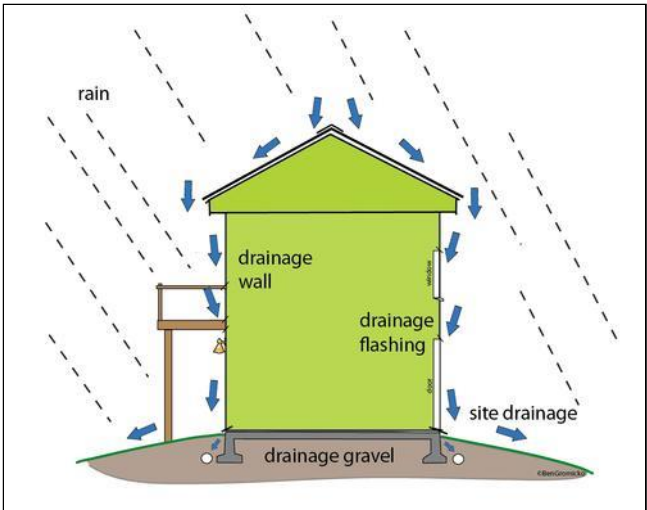
3.3 Item 2(Picture)



3.3 Item 3(Picture)



3.3 Item 4(Picture)

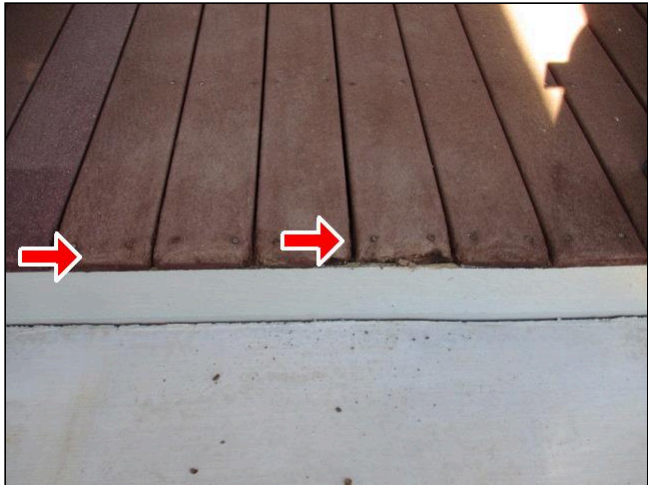


3.3 Item 5(Picture)

**3.4 Deck, Balcony, Bridge and Porch,
Repair/Replace**

IMPROVEMENT AND REPAIR RECOMMENDED:

This deck exhibited moderate general deterioration at the time of the inspection.



3.4 Item 1(Picture) front of home



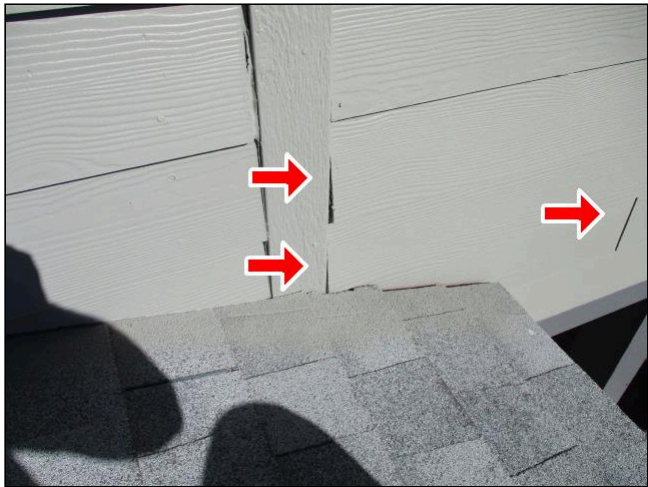
3.4 Item 2(Video)

4. Wall Exteriors

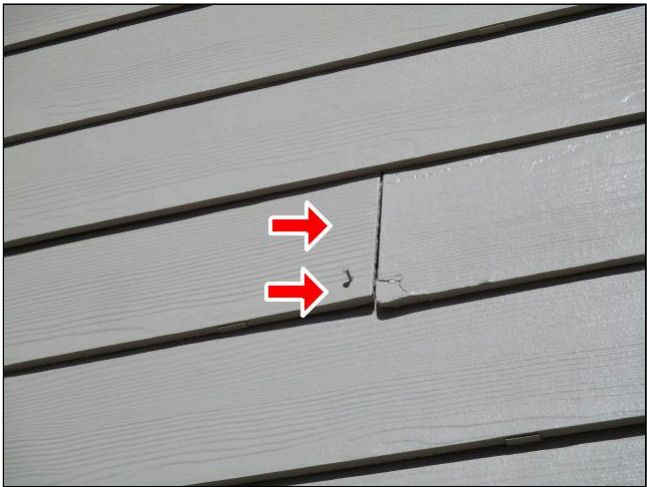
4.0 Siding
Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

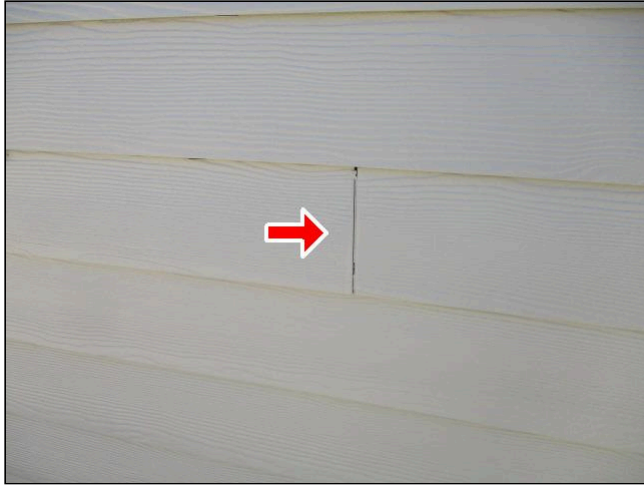
All joints between siding should be properly sealed. It is recommended to use elastomeric sealant.



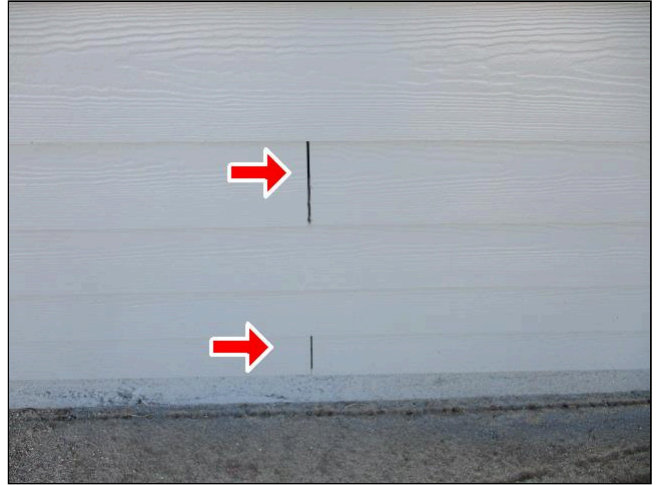
4.0 Item 1(Picture)



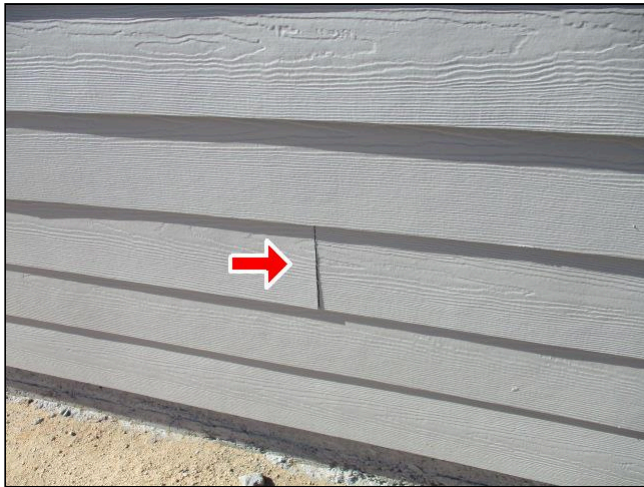
4.0 Item 2(Picture)



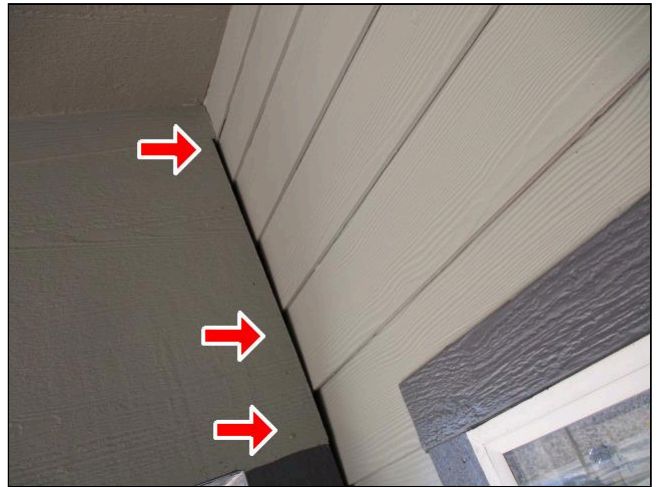
4.0 Item 3(Picture)



4.0 Item 4(Picture)



4.0 Item 5(Picture)



4.0 Item 6(Picture) front of home

4.2 Window Exteriors

Repair/Replace

(1)

IMPROVEMENT AND REPAIR RECOMMENDED:

A window at the front of the house had a broken glass.



4.2 Item 1(Picture) front of home
(2)



4.2 Item 2(Video)

IMPROVEMENT AND REPAIR RECOMMENDED:

One or more of the window screens were observed to be damaged.



4.2 Item 3(Picture)
(3)

IMPROVEMENT AND REPAIR RECOMMENDED:

Window bottom rail damaged or missing. The Inspector recommends that before the expiration of your Inspection Objection Deadline you consult with a qualified contractor to discuss options and costs for correction.



4.2 Item 4(Picture)

6. Interior

- 6.1 Floors
Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The living room had severe floor tile damage visible at the time of the inspection. You should consult with a qualified contractor to discuss options and costs for repair.



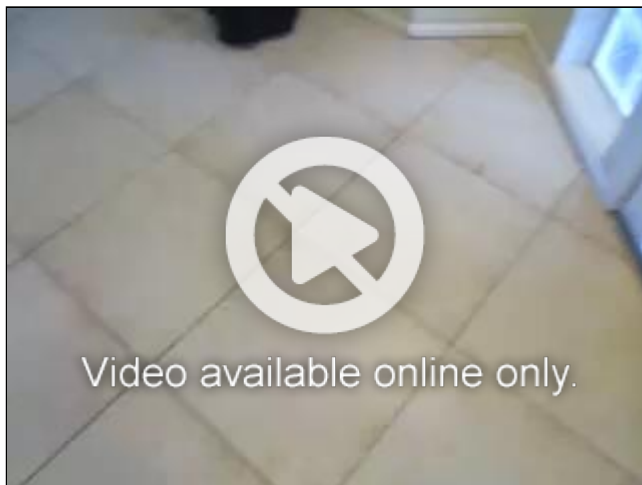
6.1 Item 1(Picture) Living Room



6.1 Item 2(Picture)



6.1 Item 3(Picture)



6.1 Item 4(Video)

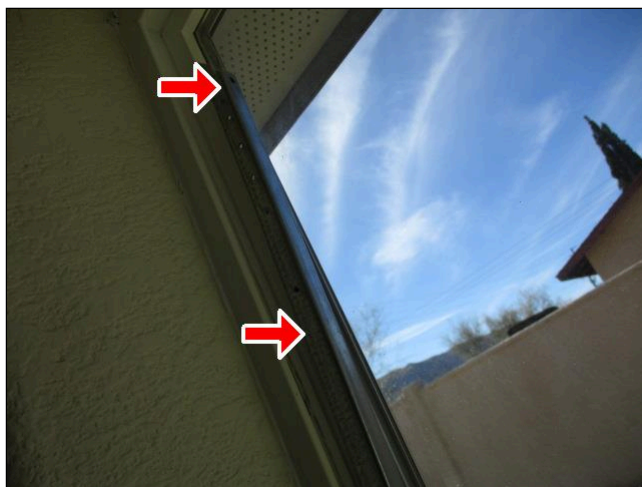
6.8 Windows and Skylights
Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

Few window in the interior are difficult to operate some are missing the window channel balance. Repair or replacement is recommended.



6.8 Item 1(Picture)



6.8 Item 2(Picture)



6.8 Item 3(Video)



6.8 Item 4(Picture)

8. Garage

8.0 Garage Doors Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

A garage vehicle door failed to reverse when a reasonable amount of resistance was applied. The Inspector recommends service by a qualified garage door contractor.



8.0 Item 1(Picture)



8.0 Item 2(Picture)



8.0 Item 3(Video)

9. Plumbing

9.0 Gas Water Heater

Repair/Replace

(1)

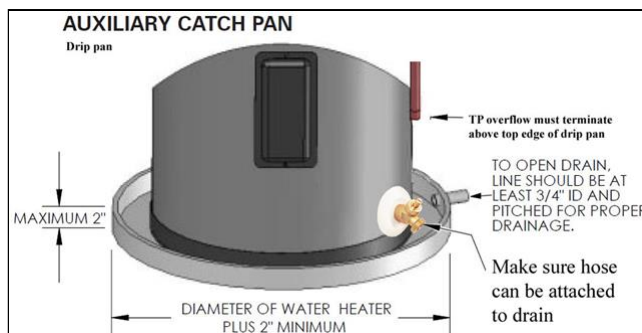
IMPROVEMENT AND REPAIR RECOMMENDED:

Drip pans are recommended below all hot water heaters, This will help contain leaks and prevent water damage.



9.0 Item 1(Picture)

(2)

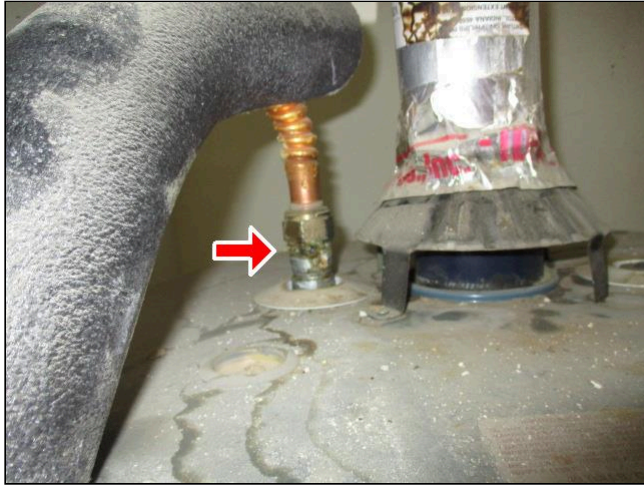


9.0 Item 2(Picture)

IMPROVEMENT AND REPAIR RECOMMENDED:

Corrosion visible on water pipes connected to this water heater appeared to be the result of dissimilar metals in contact with each other. This condition can cause galvanic

corrosion. The Inspector recommends installation of a dielectric union by a qualified plumbing contractor to help prevent further corrosion, deterioration and/or leakage made possible by this condition.



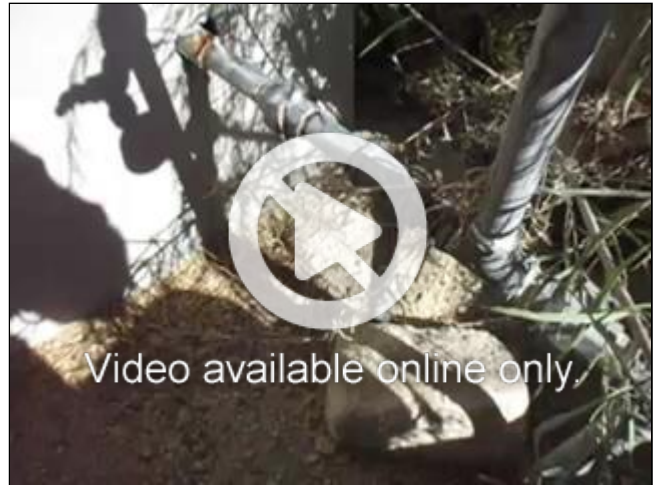
9.0 Item 3(Picture)

**9.4 Exterior Plumbing
Repair/Replace**

Corroded supply pipes . The Inspector recommends replacement by a qualified contractor to prevent future damage.



9.4 Item 1(Picture) front of home



9.4 Item 2(Video)



9.4 Item 3(Picture)

10. Heating

10.2 Fireplace

Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

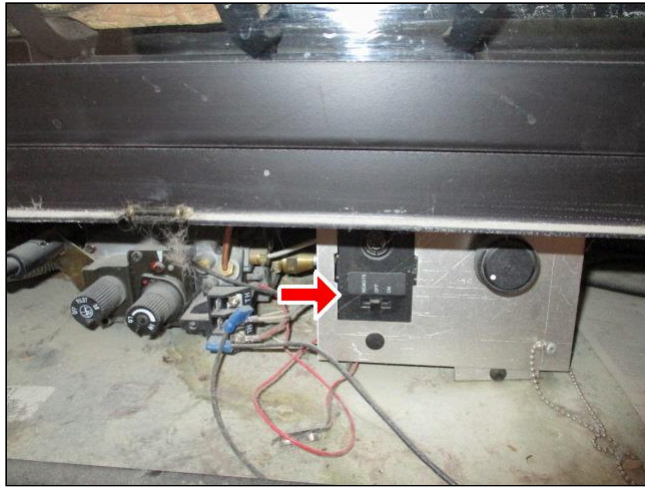
The fireplace in the living room was turned off at the primary controls. Changing settings at the primary controls lies beyond the scope of the General Home Inspection. You should ask the seller to demonstrate the functionality of this fireplace or have it inspected by a specialist.



10.2 Item 1(Picture) Living Room



10.2 Item 2(Picture)



10.2 Item 3(Picture)

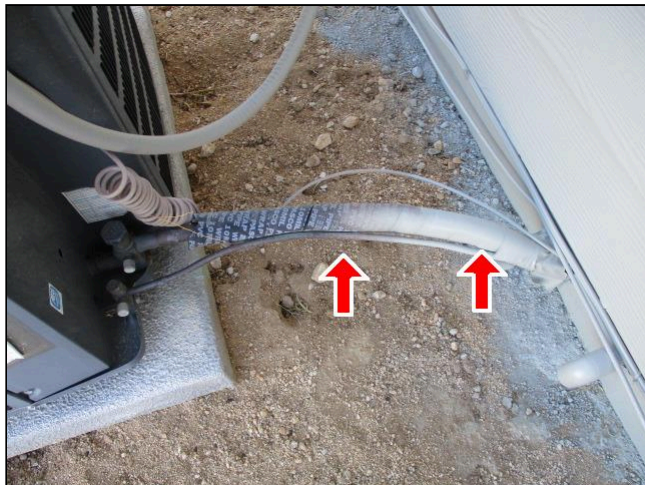
11. Cooling

11.0 Central Air Conditioner

Inspected
(2)

IMPROVEMENT AND REPAIR RECOMMENDED:

Damaged, deteriorated and/or missing insulation on the refrigerant lines should be repaired or replaced at the outside condenser



11.0 Item 11(Picture) rear of home

12. Bathrooms

12.0 Shower

Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The shower handle and spout is not sealed at the wall. This condition has the potential to allow water to leak back into the wall cavity.



12.0 Item 1(Picture) hallway



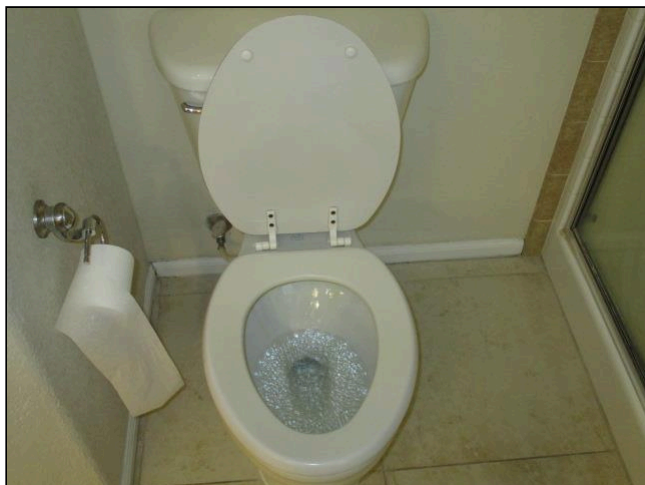
12.0 Item 2(Picture) master bathroom

12.2 Toilet

Repair/Replace

(1)

The toilet in the Master bathroom ran continuously at the time of the inspection. This usually indicates a failed flapper valve, the need for float mechanism adjustment or water leaking from the water tank into the bowl. Under some conditions, in homes with water supplied from a well, this condition can result in running the well dry and burning out the pump, requiring expensive repair. You should be diligent in maintaining toilet tank mechanisms in the future to avoid pump damage.



12.2 Item 1(Picture) master bathroom

(2)



12.2 Item 2(Picture)

IMPROVEMENT AND REPAIR RECOMMENDED:

The master bathroom, the toilet handle did not return to position, indicating that components in the tank need adjustment or replacement.



12.2 Item 3(Picture)



12.2 Item 4(Picture)

12.4 Cabinets

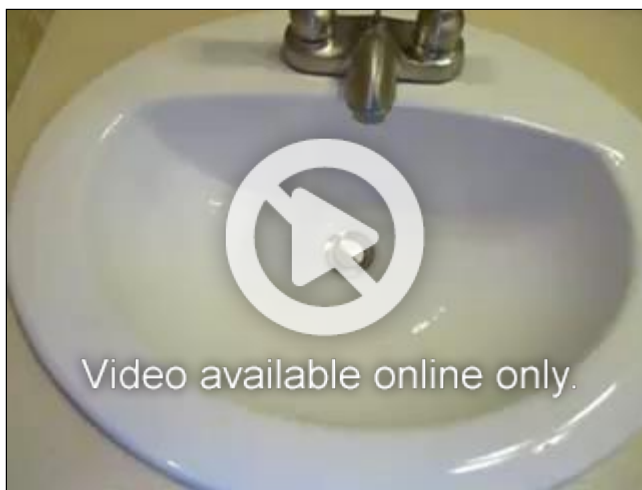
Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The sink in the hallway was slow to drain. The blockage should be located and cleared by a qualified plumbing contractor.



12.4 Item 1(Picture) hallway



12.4 Item 2(Video)

12.8 Floors

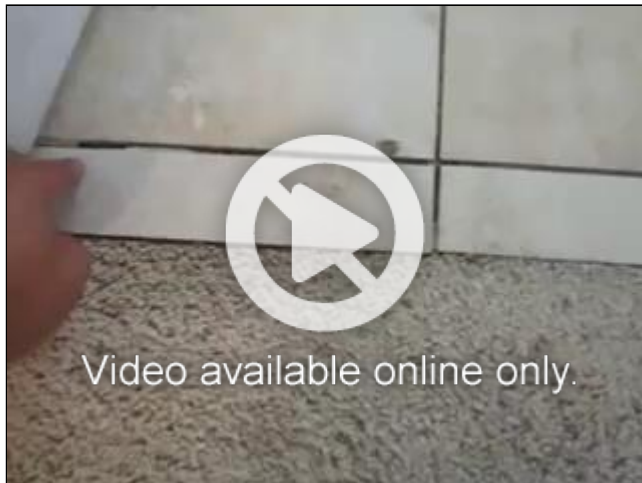
Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The master bathroom had severe floor tile damage visible at the time of the inspection. You should consult with a qualified contractor to discuss options and costs for repair.



12.8 Item 1(Picture)



12.8 Item 2(Video)



12.8 Item 3(Picture)

13. Kitchen and Built-in Appliances

13.2 Dishwasher

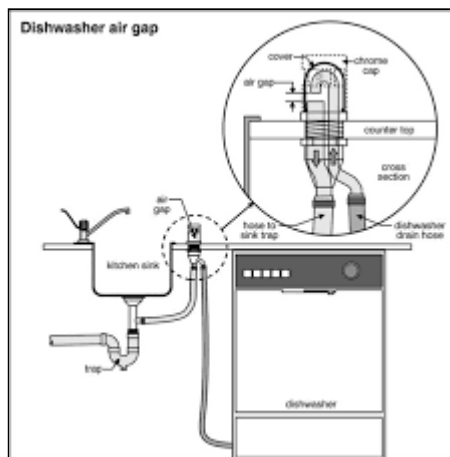
Repair/Replace

(1)

The dishwasher did not appear to have an anti-siphon device installed in the drain line. Anti-siphon devices are installed to prevent wastewater from the dishwasher from being siphoned back into the dishwasher and contaminating its contents. The Inspector recommends an anti-siphon device be installed by a qualified technician.



13.2 Item 1(Picture)



13.2 Item 2(Picture)

(2) **IMPROVEMENT AND REPAIR RECOMMENDED:**

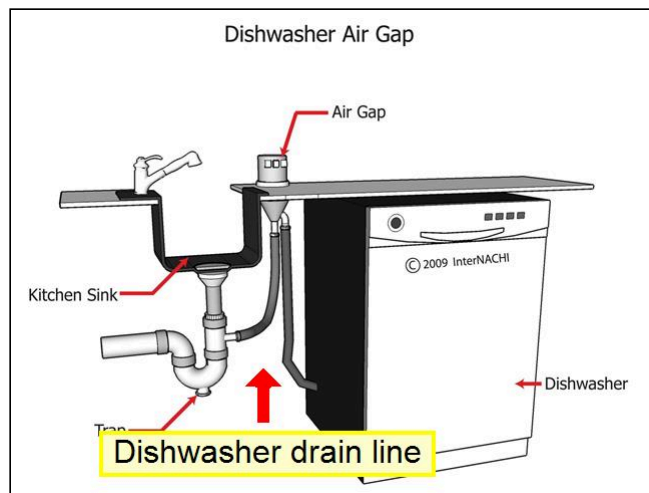
The dishwasher did not have a properly anchored high loop installed in the drain line at the time of the inspection. The high loop is designed to prevent wastewater from contaminating the dishwasher. This is an improper condition. The inspector recommends repair as soon as possible by a qualified contractor, or homeowner. This is an easy fix.



13.2 Item 3(Picture)



13.2 Item 4(Picture)



13.2 Item 5(Picture)

13.10 Floors

Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

The kitchen floor had one or more broken tiles. The Inspector recommends repair by a qualified contractor. The Inspector recommends repair by a qualified contractor.



13.10 Item 1(Picture)

14. Laundry Room

14.2 Receptacles, Switches, Connections

Repair/Replace

IMPROVEMENT AND REPAIR RECOMMENDED:

Electrical receptacles in the laundry room had no Ground Fault Circuit Interrupter (GFCI) protection. Although this condition may have been considered acceptable at the time the home was originally constructed, as knowledge of safe building practices has improved with the passage of time, building standards have changed to reflect current understanding. Consider having GFCI protection installed as a safety precaution for receptacles within 6 feet of a

plumbing fixture. This can be achieved by:

1. Replacing the current standard electrical receptacles with GFCI outlets;
2. Replacing the electrical receptacle nearest the overcurrent protection devices (breakers or fuses) protecting laundry room circuits with a GFCI receptacle; or
3. Replacing the breakers currently protecting the electrical circuits in the Laundry room with GFCI breakers.



14.2 Item 1(Picture) laundry room

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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INVOICE

R & R Home Inspections

Inspected By: Roberto Renderos

Inspection Date: 11/17/2022
Report ID: 20221117altaloma

Customer Info:	Inspection Property:
Customer's Real Estate Professional: [REDACTED] Realty Masters & Associates	61774 Alta loma Dr Joshua Tree CA 92252

Inspection Fee:

Service	Price	Amount	Sub-Total
Heated Sq Ft 1,300 - 2,436	400.00	1	400.00

To

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Note: